

COLONIAL REVIVAL STYLE

CONTRIBUTING COLONIAL REVIVAL STYLE PROPERTIES WITHIN THE BOULDER CITY HISTORIC DISTRICT*

Arizona Street	1305
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*1305 Arizona Street is the Boulder Dam Hotel. The hotel is currently listed in the NRHP.

Colonial Revival Style Description: The Colonial Revival style gained in popularity during the Eclectic Movement in American architecture, which occurred from about 1880 through the 1940s, and drew inspiration from the domestic architecture of various European countries and their New World colonies. The Colonial Revival style was most popular in America beginning from about 1880 to 1955. The style was the most dominant style for domestic architecture during the first half of the twentieth century, accounting for about 40 percent of the houses constructed between 1910 and 1930. The only Colonial Revival style building in Boulder City is the Boulder Dam Hotel, a commercial building located at 1305 Arizona Street. The hotel exhibits many characteristics of the Colonial Revival style including an accentuated front door with a decorative pediment supported by pilasters, a symmetrical façade with balanced windows and a center door, and windows with double hung sashes and multi-pane glazing.

COLONIAL REVIVAL STYLE CHARACTER DEFINING FEATURES

The list and image(s) below include character defining features of the Boulder Dam Hotel, the only recorded example of the Colonial Revival style in the district.

Massing: Two story with “H”-shaped plan oriented to the north

Roof: Side-gabled; capped parapeted gable walls with chimneys and centrally-located round windows with floral pattern; composition shingle covering; moderate slope; close eave overhang

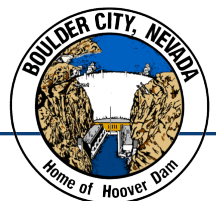
Façade: Symmetrical; Full-height portico on front façade supported by square paneled wood columns

Walls: Masonry

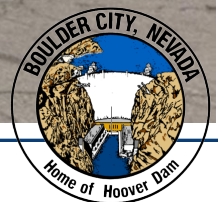
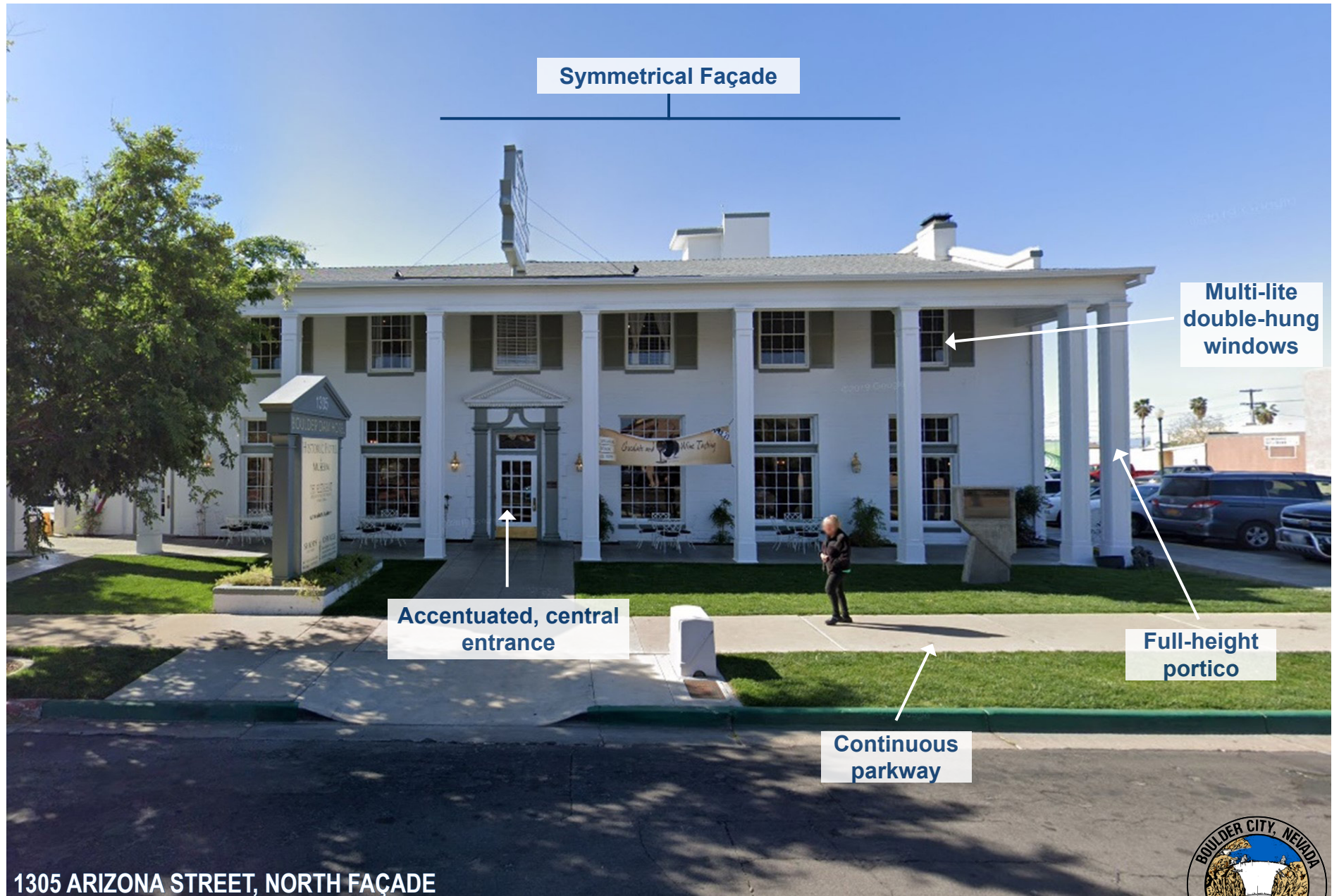
Fenestration: Fixed multi-pane windows with multi-pane non-fixed transoms on the lower level of the front façade; multi-pane double hung sash windows on remainder of building; shutters on upper level windows on front façade; North (main) entrance accentuated by triangular dentiled pediment; pilasters; multi-lite, wood-frame door with leaded glass transom; and quoins; arched brick motif with entrance, transom, and sidelites on west façade; east courtyard entrance with triangular pediment, sunburst transom, slim pilasters, and double-leaf, wood-frame, multi-lite door

Architectural Details: Exterior chimney on west façade; decorative parapet bracket above arched entrance, west façade; courtyard bordered on east side with masonry wall with decorative brick cap and brackets

Garages: N/A



COLONIAL REVIVAL STYLE COMMERCIAL/BOULDER DAM HOTEL



COLONIAL REVIVAL STYLE COMMERCIAL/BOULDER DAM HOTEL



CRAFTSMAN STYLE

CONTRIBUTING CRAFTSMAN STYLE PROPERTIES WITHIN THE BOULDER CITY HISTORIC DISTRICT*

Avenue C

600

Craftsman Style Definition: The Craftsman style was the dominant style for smaller houses constructed in the United States between 1905 and 1930. The style originated in southern California and spread throughout the country via pattern books and popular magazines of the era. The pure form of the Craftsman style is not original to Boulder City; however, elements of it, such as low-pitched gabled roofs with wide, unenclosed eave overhang; exposed roof rafters; and exposed eave brackets at gable ends, are incorporated into a small number of employee residences constructed by both Reclamation and Six Companies, as well as some private residential construction. The National Folk style used for some models constructed as employee residences. Most of the homes labeled as Craftsman during the most recent historic resource survey were done so based on later alterations to give a Craftsman style appearance. Only one property, located at 600 Avenue C, retains original Craftsman style elements, including a cross-gabled roof with recessed gables on the north and south elevations; a central porch sheltered under the main roof; groupings of two or more windows; stone cladding; and unenclosed eaves.

CRAFTSMAN STYLE CHARACTER DEFINING FEATURES

The list and image(s) below include character-defining elements 600 Avenue C, the only recorded property with original Craftsman style elements in the district (does not include accessory building in rear yard):

Massing: One story with raised basement; square plan

Roof: Cross-gabled with recessed gables on the north and south façade; open eaves with plain wood fascia

Façade: Massing is symmetrical with asymmetrical fenestration; entrances face the street; central porch is recessed beneath eave

Walls: Ashlar stone with flat arch and keystone lintels

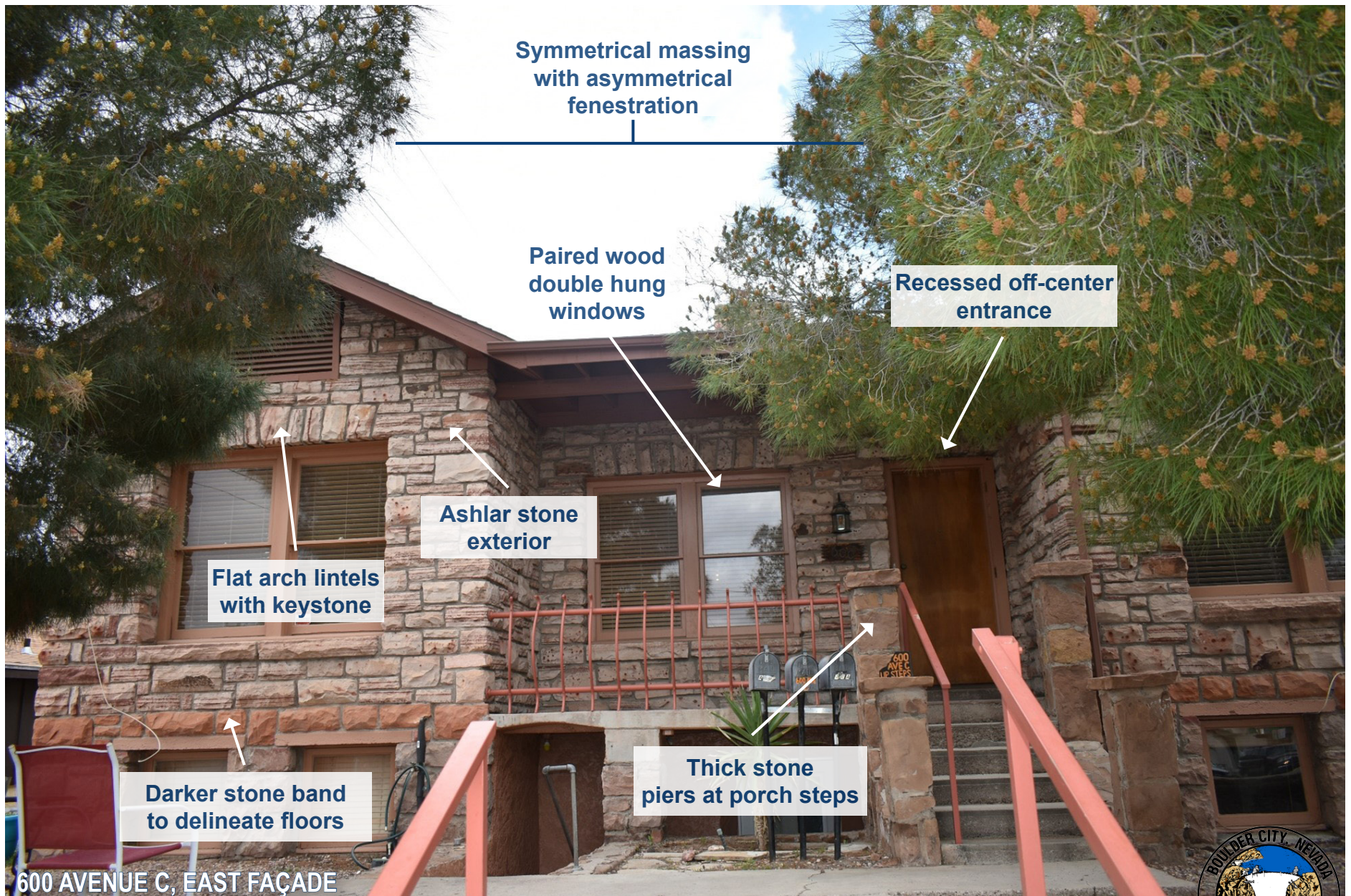
Fenestration: Wood, one-over-one double hung; paired on front (east) façade; single-pane wood frame windows on basement level

Architectural Details: Attic vent at top of gable; horizontal band of darker stone separating the basement and upper level; thick stone piers at porch steps

Garages: N/A



CRAFTSMAN STYLE PRIVATE CONSTRUCTION/MULTI-FAMILY



COLONIAL REVIVAL STYLE

CONTRIBUTING COLONIAL REVIVAL STYLE PROPERTIES WITHIN THE BOULDER CITY HISTORIC DISTRICT*

Arizona Street	1305
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Colonial Revival Style Description: The Colonial Revival style gained in popularity during the Eclectic Movement in American architecture, which occurred from about 1880 through the 1940s, and drew inspiration from the domestic architecture of various European countries and their New World colonies. The Colonial Revival style was most popular in America beginning from about 1880 to 1955. The style was the most dominant style for domestic architecture during the first half of the twentieth century, accounting for about 40 percent of the houses constructed between 1910 and 1930. The only Colonial Revival style building in Boulder City is the Boulder Dam Hotel, a commercial building located at 1305 Arizona Street. The hotel exhibits many characteristics of the Colonial Revival style including an accentuated front door with a decorative pediment supported by pilasters, a symmetrical façade with balanced windows and a center door, and windows with double hung sashes and multi-pane glazing.

COLONIAL REVIVAL STYLE CHARACTER DEFINING FEATURES

The list and image(s) below include character defining features of the Boulder Dam Hotel, the only recorded example of the Colonial Revival style in the district.

Massing: Two story with “H”-shaped plan oriented to the north

Roof: Side-gabled; capped parapeted gable walls with chimneys and centrally-located round windows with floral pattern; composition shingle covering; moderate slope; close eave overhang

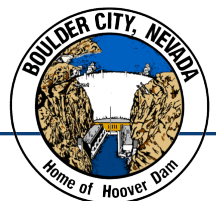
Façade: Symmetrical; Full-height portico on front façade supported by square paneled wood columns

Walls: Masonry

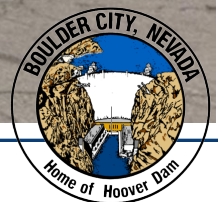
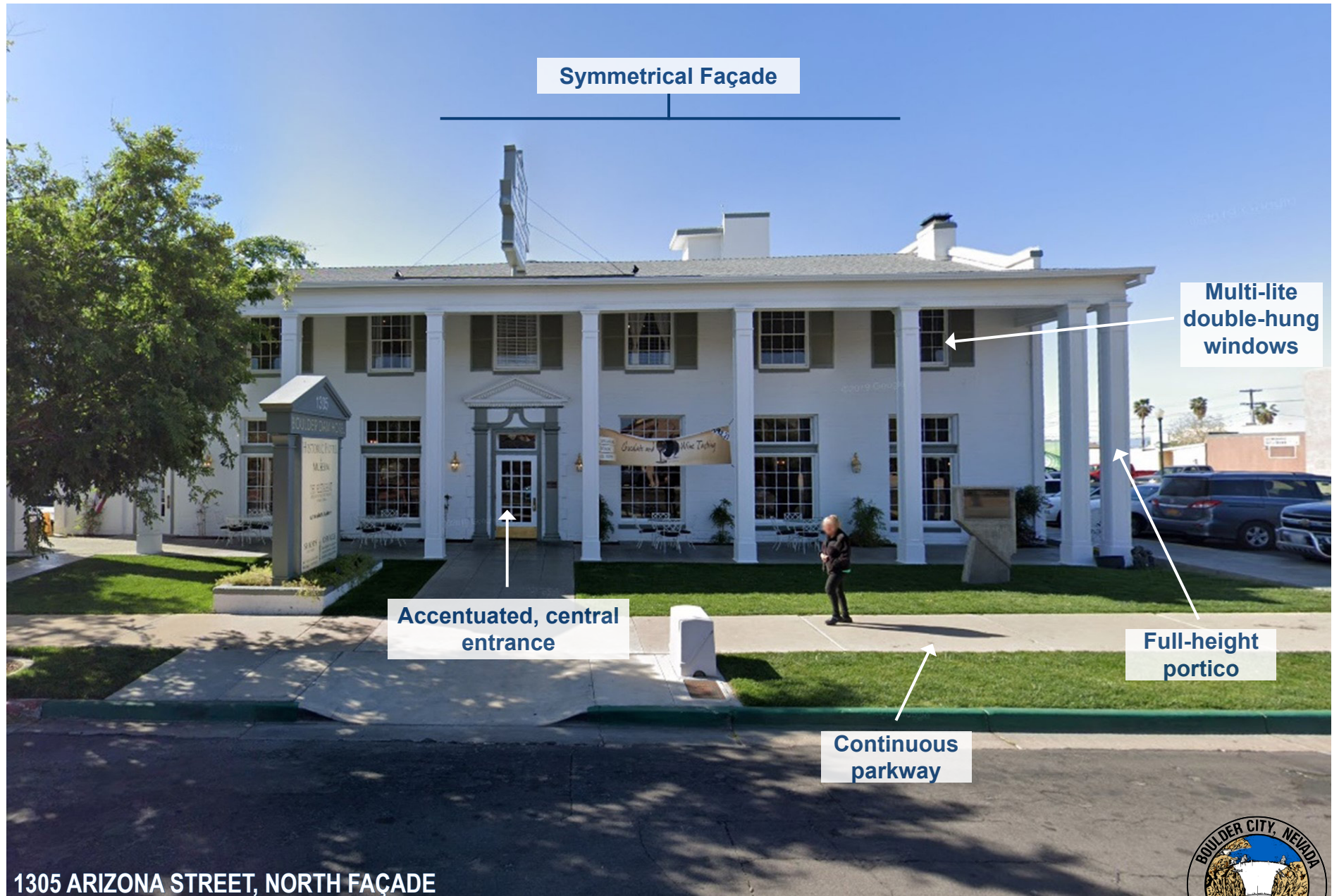
Fenestration: Fixed multi-pane windows with multi-pane non-fixed transoms on the lower level of the front façade; multi-pane double hung sash windows on remainder of building; shutters on upper level windows on front façade; North (main) entrance accentuated by triangular dentiled pediment; pilasters; multi-lite, wood-frame door with leaded glass transom; and quoins; arched brick motif with entrance, transom, and sidelites on west façade; east courtyard entrance with triangular pediment, sunburst transom, slim pilasters, and double-leaf, wood-frame, multi-lite door

Architectural Details: Exterior chimney on west façade; decorative parapet bracket above arched entrance, west façade; courtyard bordered on east side with masonry wall with decorative brick cap and brackets

Garages: N/A



COLONIAL REVIVAL STYLE COMMERCIAL/BOULDER DAM HOTEL



COLONIAL REVIVAL STYLE COMMERCIAL/BOULDER DAM HOTEL



CRAFTSMAN STYLE

CONTRIBUTING CRAFTSMAN STYLE PROPERTIES WITHIN THE BOULDER CITY HISTORIC DISTRICT*

Avenue C	600
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Craftsman Style Definition: The Craftsman style was the dominant style for smaller houses constructed in the United States between 1905 and 1930. The style originated in southern California and spread throughout the country via pattern books and popular magazines of the era. The pure form of the Craftsman style is not original to Boulder City; however, elements of it, such as low-pitched gabled roofs with wide, unenclosed eave overhang; exposed roof rafters; and exposed eave brackets at gable ends, are incorporated into a small number of employee residences constructed by both Reclamation and Six Companies, as well as some private residential construction. The National Folk style used for some models constructed as employee residences. Most of the homes labeled as Craftsman during the most recent historic resource survey were done so based on later alterations to give a Craftsman style appearance. Only one property, located at 600 Avenue C, retains original Craftsman style elements, including a cross-gabled roof with recessed gables on the north and south elevations; a central porch sheltered under the main roof; groupings of two or more windows; stone cladding; and unenclosed eaves.

CRAFTSMAN STYLE CHARACTER DEFINING FEATURES

The list and image(s) below include character-defining elements 600 Avenue C, the only recorded property with original Craftsman style elements in the district (does not include accessory building in rear yard):

Massing: One story with raised basement; square plan

Roof: Cross-gabled with recessed gables on the north and south façade; open eaves with plain wood fascia

Façade: Massing is symmetrical with asymmetrical fenestration; entrances face the street; central porch is recessed beneath eave

Walls: Ashlar stone with flat arch and keystone lintels

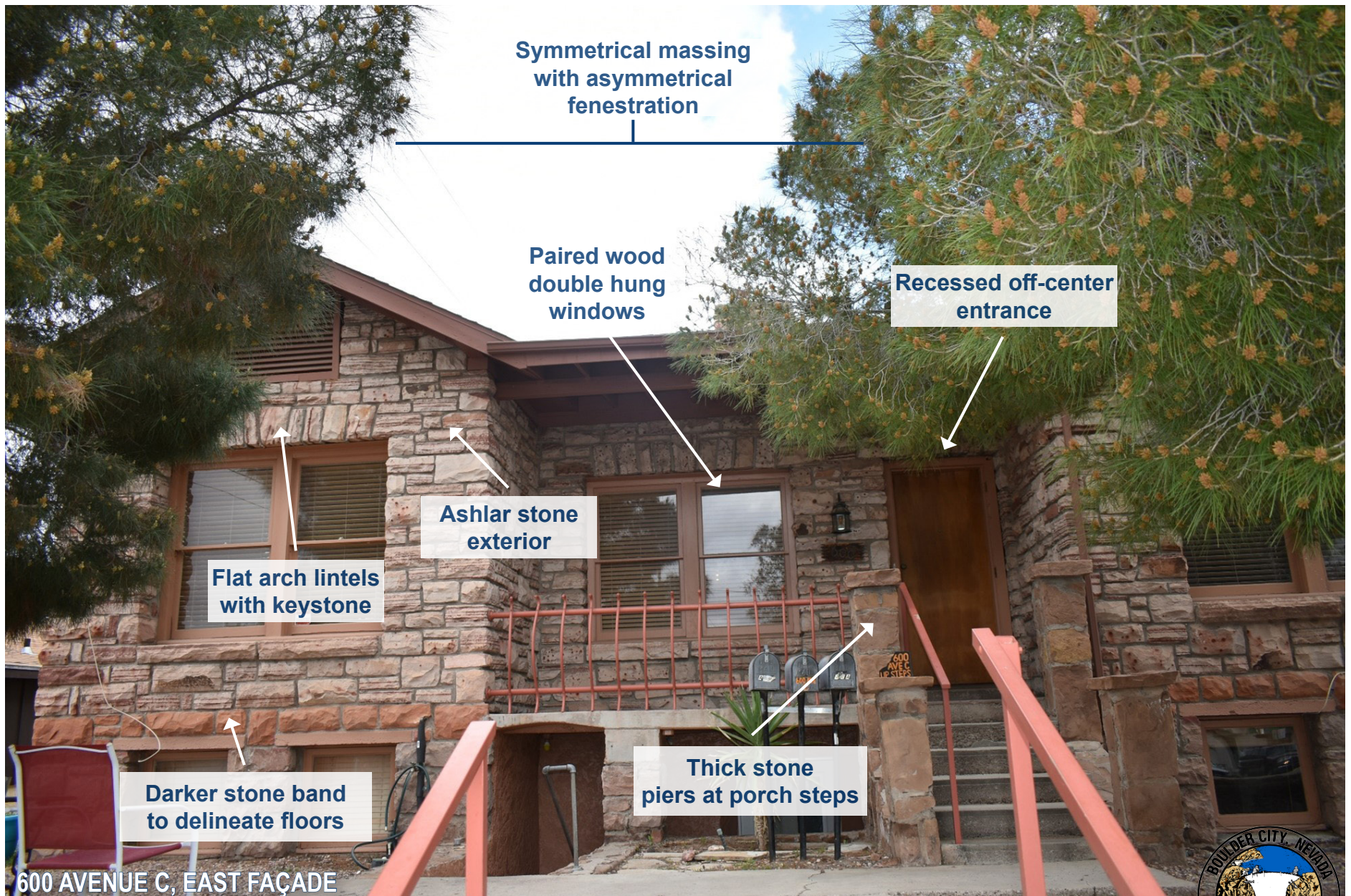
Fenestration: Wood, one-over-one double hung; paired on front (east) façade; single-pane wood frame windows on basement level

Architectural Details: Attic vent at top of gable; horizontal band of darker stone separating the basement and upper level; thick stone piers at porch steps

Garages: N/A



CRAFTSMAN STYLE PRIVATE CONSTRUCTION/MULTI-FAMILY



LATE GOTHIC REVIVAL STYLE

CONTRIBUTING LATE GOTHIC REVIVAL STYLE PROPERTIES WITHIN THE BOULDER CITY HISTORIC DISTRICT	
Wyoming Street	1150

The Late Gothic Revival Style Description: The Late Gothic Revival style peaked in popularity for American domestic architecture during the mid-to-late nineteenth century (1840–1880). However, the style remained popular for church architecture through the 1940s, drawing inspiration from the Gothic cathedrals of Medieval Europe. In Boulder City, typical characteristics of the Late Gothic Revival style include a steeply pitched gable roof, arched windows, stained glass, and exterior buttresses. The only recorded building in Boulder City that exhibits characteristics of the Late Gothic Revival style is Grace Community Church, a church building located at 1150 Wyoming Street.

LATE GOTHIC REVIVAL STYLE CHARACTER DEFINING FEATURES

The list and image(s) below include character defining features of the Grace Community Church, the only recorded example of the Late Gothic Revival style in the district.

Massing: One-and-one-half story building; inverted “J” plan

Roof: Steeply pitched gable roof with parapet walls and no rake; composition shingle covering; wood at gable ends and dormer vents (1940s addition)

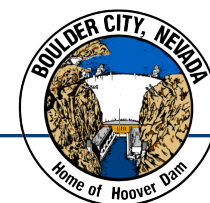
Façade: Symmetrical with main (south) entrance facing the street

Walls: Brick

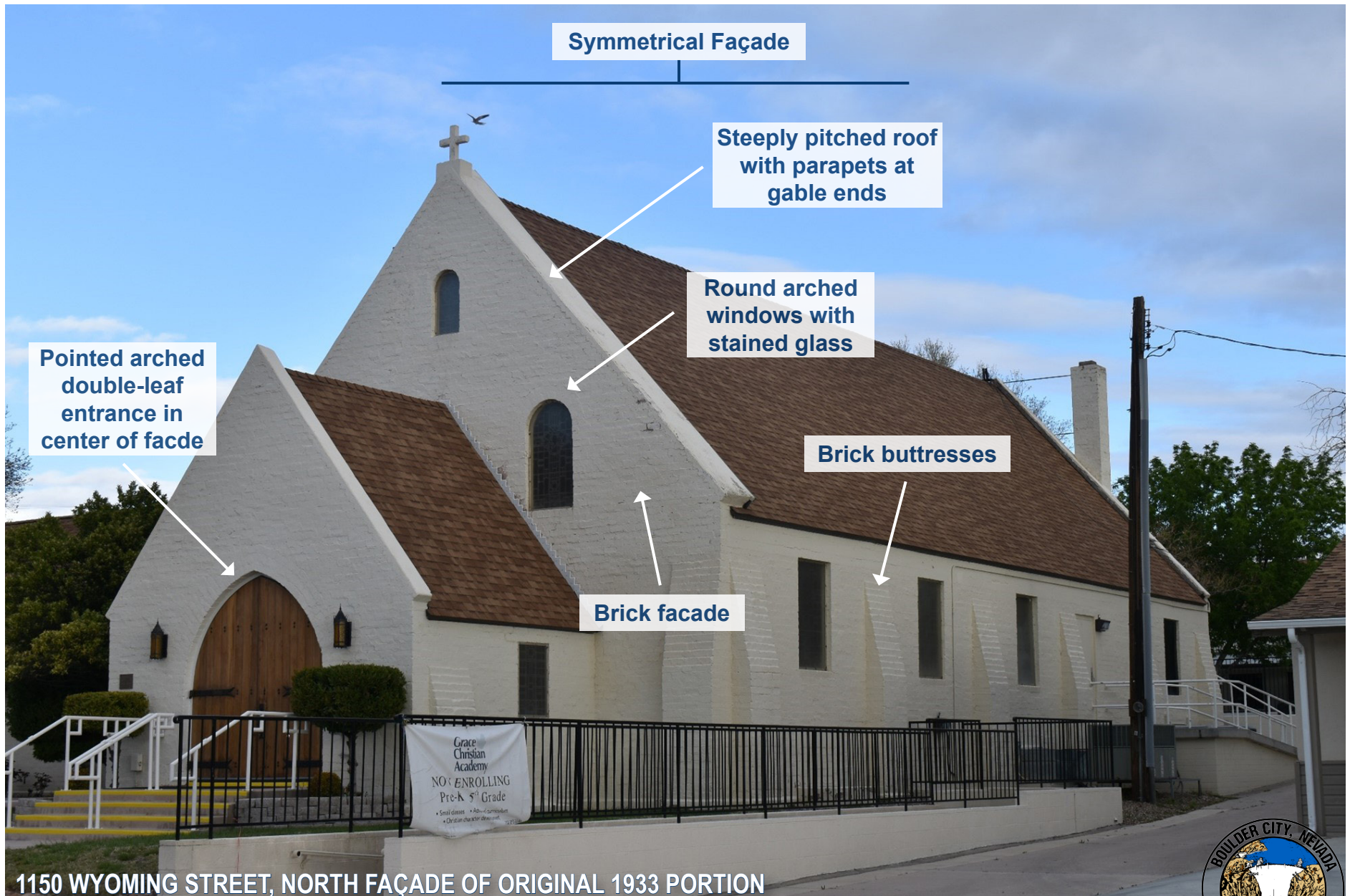
Fenestration: Round arched windows with stained glass on front façade; pointed arch doorway with wood door and wrought iron hardware; multi-lite sash style windows (1940s addition)

Architectural Details: Simple brick buttresses located at regular intervals along exterior walls; exterior brick chimney at rear facade

Garages: N/A



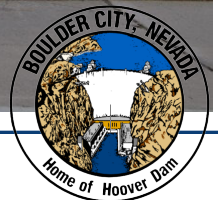
LATE GOTHIC REVIVAL STYLE RELIGIOUS/GRAVE COMMUNITY CHURCH



LATE GOTHIC REVIVAL STYLE RELIGIOUS/GRACE COMMUNITY CHURCH



1150 WYOMING STREET, SOUTH FAÇADE OF 1940s ADDITION

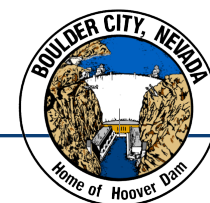


MINIMAL TRADITIONAL STYLE

CONTRIBUTING MINIMAL TRADITIONAL STYLE PROPERTIES WITHIN THE BOULDER CITY HISTORIC DISTRICT*	
Avenue A	619, 631, 648, 656, 661
Avenue B	616, 622, 628, 659, 701–703, 761–763
Avenue D	620, 632, 667
Avenue G	550
Avenue I	520
California Avenue	555, 700–702
Date Street	521–525, 529–533, 537–541, 545–549, 553–557, 500 (Reclamation Metallurgical Lab)
Fifth Street	1308, 1200–1204, 1208–1212
Nevada Way	318, 633, 649
New Mexico Street	1109, 1217, 1221, 1368, 1113–1117, 1209–1213, 1301–1305, 1600, 1608
Utah Street	529
Wyoming Street	1016, 1101, 1263, 1305, 1367, 1001–1005, 1267–1269, 904–906, 909–913

***Bolded Properties are Recommended Individually Eligible for listing in the NRHP.**

Minimal Traditional Style Description: The Minimal Traditional style was common for small houses constructed between 1935 and 1950. The style first emerged to meet the demand for modest affordable housing during the Great Depression. It was popularized by the Federal Housing Administration (FHA), which issued federally backed mortgage insurance and produced technical bulletins that promoted the style as effective for small home design. The Minimal Traditional style remained popular for defense industry housing built during World War II (WWII), and for small homes constructed to alleviate the massive housing shortages that occurred in the postwar era. In Boulder City, the Minimal Traditional style was popular for employee housing constructed by Babcock and Wilcox, as well as for WWII-era defense housing built by Reclamation. The style is also the second most prevalent style of private residential architecture within the community after the National Folk style. In Boulder City, typical characteristics of the Minimal Traditional style include a low or intermediate pitched roof with little to no eave overhang, and minimal amounts of architectural detail. A large proportion of the Minimal Traditional properties in the city also consist of duplexes or other multi-family residences. Houses constructed in this style by Babcock and Wilcox are located along Avenues A and B, while those constructed by Reclamation are typically concentrated along New Mexico, Fifth, and Date streets. Wyoming Street contains the largest number of private residences constructed in the Minimal Traditional style.



MINIMAL TRADITIONAL STYLE CHARACTER DEFINING FEATURES

The list and image(s) below include typical expressions of the Minimal Traditional style as it exists within the District and is not intended to be an exhaustive list of every variation in the style. Property owners are encouraged to compare the historic features of their property to the recommended Guidelines when planning for rehabilitation projects.

Massing: One story is more common, followed by two-story multi-family examples

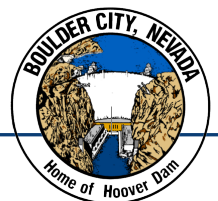
Roof: Hipped or gabled with a low to moderate slope; little to no eave overhang; rafter ends are exposed or covered by fascia; composition shingles have replaced rolled asphalt or asphalt shingles in most examples

Façade: Can be symmetrical or asymmetrical; entrances face the street with very few exceptions
Walls: Stucco is most common, followed by brick

Fenestration: Windows can be multi-lite casement or double-hung style; corner windows; residential windows are typically wood frame, whereas institutional windows are typically metal frame

Architectural Details: Entrances are typically recessed under an extended eave that serves as a porch roof, or a narrow porch roof; porch supports, if used, are usually thin wood posts

Garages: Typically detached if present; multi-family examples can have shared garages and/or storage amenities



MINIMAL TRADITIONAL STYLE PRIVATE CONSTRUCTION/DUPLEX



MINIMAL TRADITIONAL STYLE RECLAMATION TRAINING CENTER (INSTITUTIONAL)



MISSION STYLE

CONTRIBUTING MISSION STYLE PROPERTIES WITHIN THE BOULDER CITY HISTORIC DISTRICT*	
Arizona Street	1129, 1225 , 1229, 1325
Avenue B	525

***Bolded Properties are Recommended Individually Eligible for listing in the NRHP.**

Mission Style Description: The Mission style gained in popularity during the Eclectic Movement in American architecture, which occurred from about 1880 through the 1940s, and drew inspiration from the domestic architecture of various European countries. The style was most popular in America beginning from about 1890 to 1920 and was most prevalent in the southwestern United States. In Boulder City, the Mission style is most common for commercial buildings constructed before 1941. While the architectural design of commercial buildings in Boulder City was largely left up to individual owners, urban planner S. R. DeBoer recommended that architectural guidelines be utilized to maintain visual continuity within the business district. The guidelines recommended by DeBoer embraced many elements of the Mission style, including arcaded façades, parapets, and stucco exteriors. In Boulder City, Mission style buildings are typically concentrated in the City's commercial district along Arizona Street and Nevada Way.

MISSION STYLE CHARACTER DEFINING FEATURES

The list and image(s) below include typical expressions of the Mission style as it exists within the District and is not intended to be an exhaustive list of every variation in the style. Property owners are encouraged to compare the historic features of their property to the recommended Guidelines when planning for rehabilitation projects.

Massing: One story followed by two story buildings; commercial buildings typically have a simple, rectangular plan conforming to the City lot

Roof: Flat; sculpted and detailed parapets

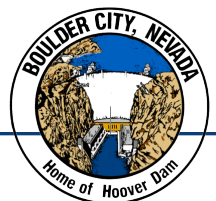
Façade: Recessed entrances sheltered beneath arcaded façades or canopies; symmetrical facades

Walls: Stucco

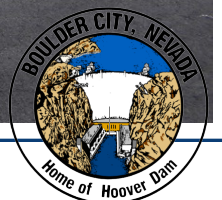
Fenestration: Divided lite metal frame windows; large commercial storefront windows

Architectural Details: Canopies, arcades, porticos, etc. shading the sidewalk; front façade built to property line (no setback)

Garages: N/A



MISSION STYLE COMMERICAL/BOULDER THEATRE



MODERNISTIC STYLE

CONTRIBUTING MONTEREY STYLE PROPERTIES WITHIN THE BOULDER CITY HISTORIC DISTRICT

Arizona Street	1220-1228
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Modernistic Style Description: The Modernistic style was popular for American architecture between 1920 and 1940. The earlier form of the style was Art Deco, which was common for public and commercial buildings during the 1920s and 1930s. After the 1930s, Art Moderne became the prevalent Modernistic form. In Boulder City, the Modernistic style is applied to commercial buildings constructed after 1941 with two examples located on Arizona Street, and one located on Wyoming Street, in the City's downtown business district. Distinctive features of the style within Boulder City include smooth stucco wall surfaces; flat roofs with parapets and flat canopies, sometimes with rounded corners; horizontal grooves or lines in walls to give a horizontal emphasis, sometimes paired with vertical grooves or lines in vertical surfaces; rounded corners; porthole windows; and asymmetrical façades. The only contributing Modernistic building within the district is 1220 – 1228 Arizona Street.

MODERNISTIC STYLE CHARACTER DEFINING FEATURES

The list and images below include character-defining elements of 1220 – 1228 Arizona Street, the only contributing example of the Modernistic style within the district.

Massing: One story; rectangular plan; façade built to and flush with street front property line

Roof: Flat with parapet wall

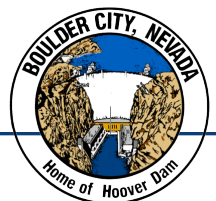
Façade: Asymmetrical with commercial entrances facing the street; cantilevered or suspended canopies, arcades, porticos, or awnings

Walls: Stucco; brick

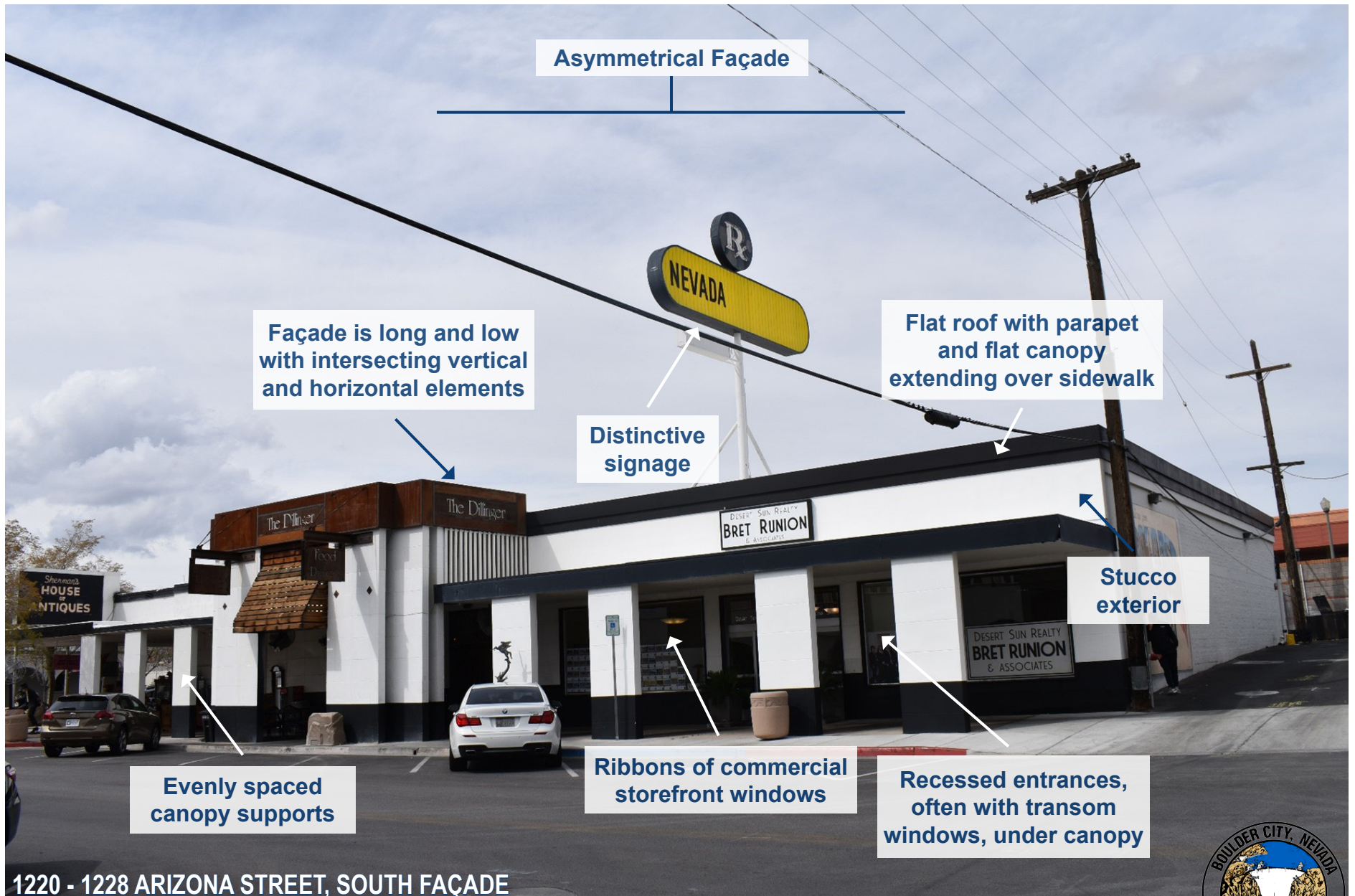
Fenestration: Ribbons of commercial storefront windows; glass storefront entrances with transoms; large plate glass windows

Architectural Details: Unique signage for commercial properties; flat canopies supported by rectangular columns; no visible structure at eaves; rounded corner with entrance; rounded canopy

Garages: N/A



MODERNISTIC STYLE COMMERCIAL



MODERNISTIC STYLE COMMERCIAL



MONTEREY STYLE

CONTRIBUTING MONTEREY STYLE PROPERTIES WITHIN THE BOULDER CITY HISTORIC DISTRICT*	
Park Street	700

***Bolded Properties are Recommended Individually Eligible for listing in the NRHP.**

Monterey Style Description: The Monterey style was popular during the Eclectic Movement in American architecture, which occurred from about 1880 through the 1940s, and drew inspiration from the domestic architecture of various European countries. The style is a free interpretation of the Anglo-influenced Spanish Colonial houses of northern California. It was popular for American domestic architecture from about 1925 to 1955 and was most common in California and Texas. The Monterey style was used by Reclamation architects for the construction of the project department head residence located at 700 Park Street. This permanent residence was one of the finest homes constructed in the Boulder City townsite and was intended for use by Reclamation executives and their families. Monterey style houses are typically two stories in height, with a low-pitched gabled roof, and often have a broad second-story cantilevered balcony which is covered by the principal roof.

MONTEREY STYLE CHARACTER DEFINING FEATURES

The list and image(s) below include character defining features of 700 Park Street, the only recorded example of the Monterey style in the district.

Massing: Two stories; rectangular plan; full-width upper story balcony, cantilevered and covered by an extended eave

Roof: Side-gabled; Low to moderately sloped with little to no eave overhang; exposed, carved rafter ends

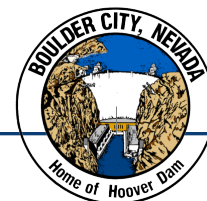
Façade: Asymmetrical with entrance facing the street

Walls: Multi-colored brick laid in a Flemish bond pattern

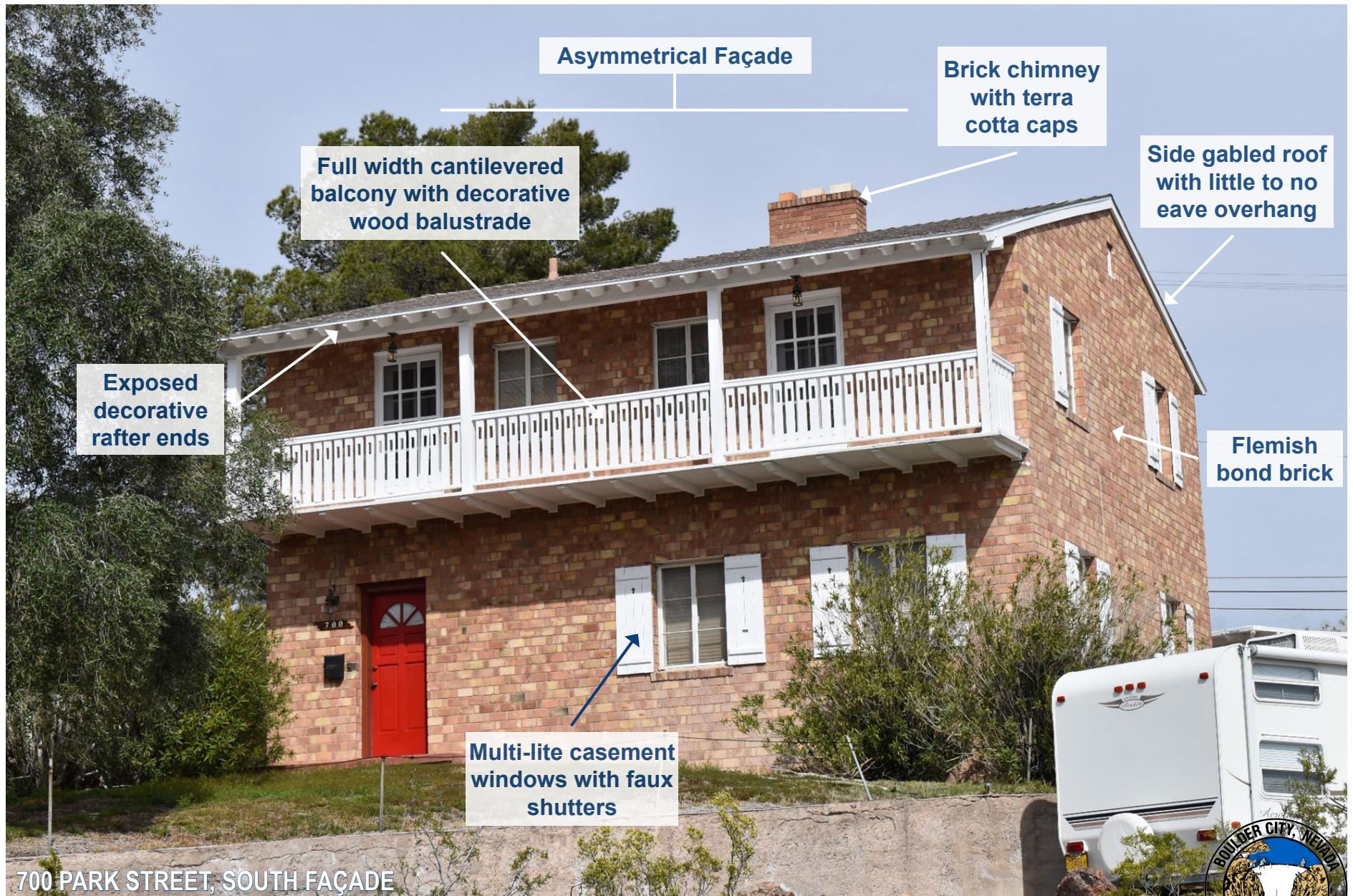
Fenestration: Steel casement windows with faux shutters; multi-lite entries on balcony level

Architectural Details: Brick chimney with terra cotta caps; cantilevered balcony with wood railing; faux shutters

Garages: N/A



MONTEREY STYLE SINGLE FAMILY/RECLAMATION DEPARTMENT HEADS HOUSING



NATIONAL FOLK STYLE

CONTRIBUTING NATIONAL FOLK STYLE PROPERTIES WITHIN THE BOULDER CITY HISTORIC DISTRICT*	
Avenue B	402, 420, 424, 615, 619, 651
Avenue C	608, 611, 619, 632, 635, 636, 640 , 644, 659, 660, 664
Avenue D	608, 631, 639, 640, 644, 647, 648, 656, 664
Avenue F	607, 624, 636, 639, 643, 648, 652
Avenue I	421, 501
Avenue K	505
Arizona Street	504, 508, 512, 520, 1608, 1612, 1616, 1620
Ash Street	400, 429
Birch Street	405, 411
California Avenue	604, 612, 615, 616, 619, 624, 627, 628, 632, 635, 640
Colorado Street	1319, 1323
Denver Street	1354
Park Place	705
Park Street	730, 734
Railroad Avenue	1501, 1505
Utah Street	507

***Bolded Properties are Recommended Individually Eligible for listing in the NRHP.**

National Folk Style Description: The National Folk style was most common for residential construction in the United States from about 1850 until 1930. This style was typically used for mass planned houses that were relatively simple to construct, and evolved after the expansion of the railroad, which made the transport of lighter wood across the U.S. easier and less expensive. In Boulder City, the National Folk style was initially popular for the construction of temporary employee housing built by both Reclamation and Six Companies. During World War II (WWII), the Los Angeles Bureau of Power and Light (LABPL) also utilized the National Folk style in the construction of single-family cottages to meet the increased employment needs brought about by the war effort. In Boulder City, National Folk style houses typically consist of wood frame structures built with light balloon or braced framing and sheathed in wood siding. Historically, houses constructed in this style by Reclamation were located on consecutive lots on Avenues B, K, and L, and Colorado and Arizona streets. National Folk style housing constructed by Six Companies was concentrated in the area bounded by Wyoming Street on the north, New Mexico Street on the south, Avenue B on the west, and Utah Street on the east; while housing constructed by LABPL was located adjacent to existing LABPL housing along Birch Street from Railroad Avenue to Nevada Highway.



NATIONAL FOLK STYLE CHARACTER DEFINING FEATURES

The list and image(s) below include typical expressions of the National Folk style as it exists within the District and is not intended to be an exhaustive list of every variation in the style. Property owners are encouraged to compare the historic features of their property to the recommended Guidelines when planning for rehabilitation projects.

Massing: Small, one-story (typical) homes with rectangular plans

Roof: Gabled with a moderate slope; hidden rafters on roof of the house; open rafters on porch; composition or asphalt shingle covering; moderate eave overhang; attic vents at gable ends (see architectural details below); eave brackets on front gable on some models; hipped or gabled porch roof

Façade: Asymmetrical with main entrances facing the street or facing the side of the lot; L-shaped, projecting screen porch with hipped roof, extending length of one side and across half of front; Entrances on screen porch can be off-center facing street, or facing the side of the lot

Walls: Stucco finish with horizontal wood siding at the porch and wainscoting (see image of 640 Ave. C below); all stucco finish; all horizontal wood siding

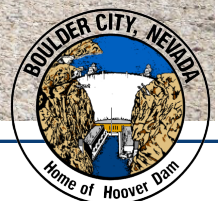
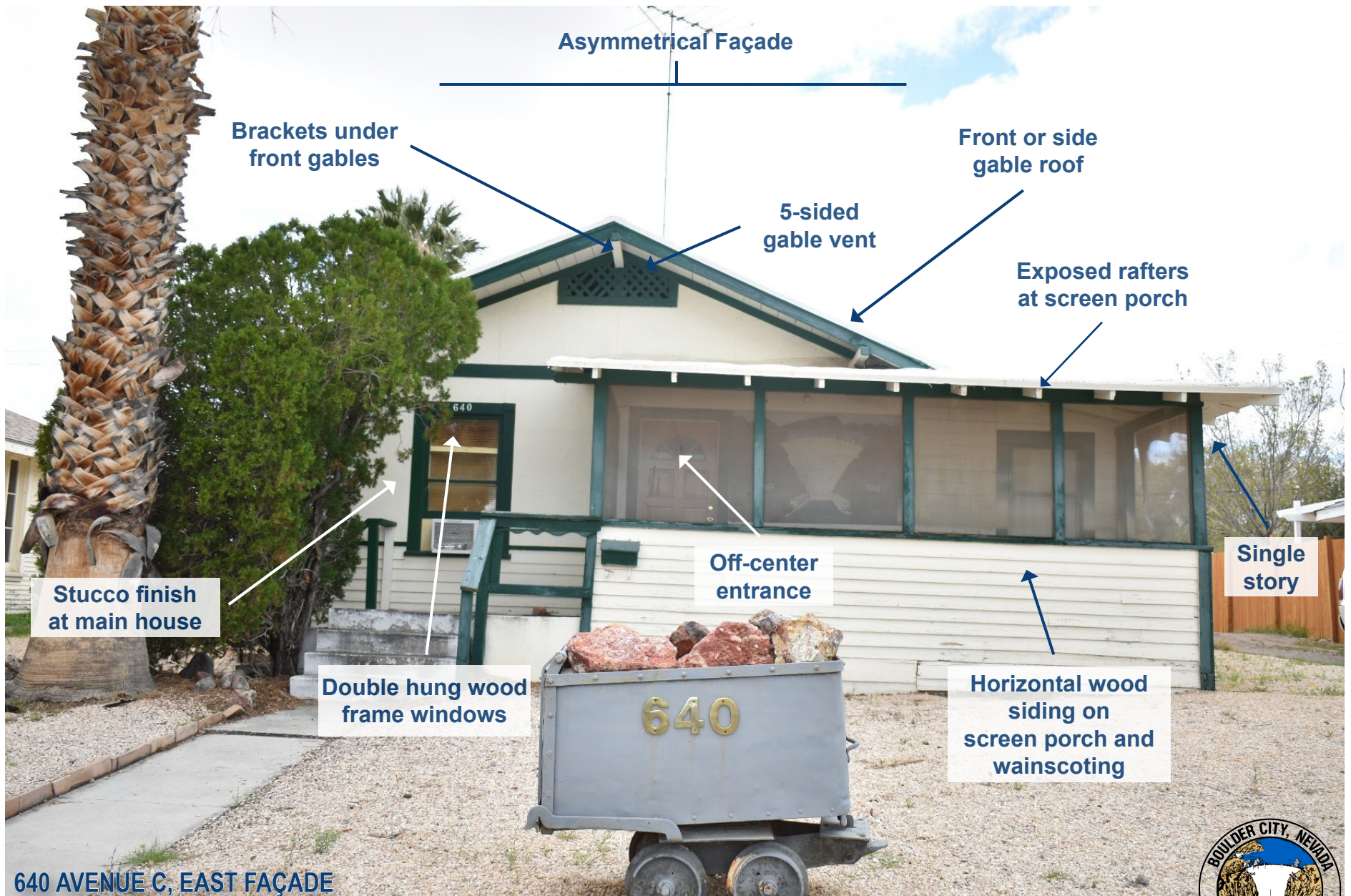
Fenestration: For all examples (excluding LA Bureau of Power & Light [LABPL] cottages at 401-405 Birch Street, and 1501 and 1505 Railroad Avenue which have wood frame casement windows), windows are wood frame, double-hung, either single or in pairs; all window types (not necessarily sizes) on the house match; doors on primary structure and wraparound porches face the street

Architectural Details: Attic vent at gable ends—five-sided opening with wood lattice cover or square with louvers

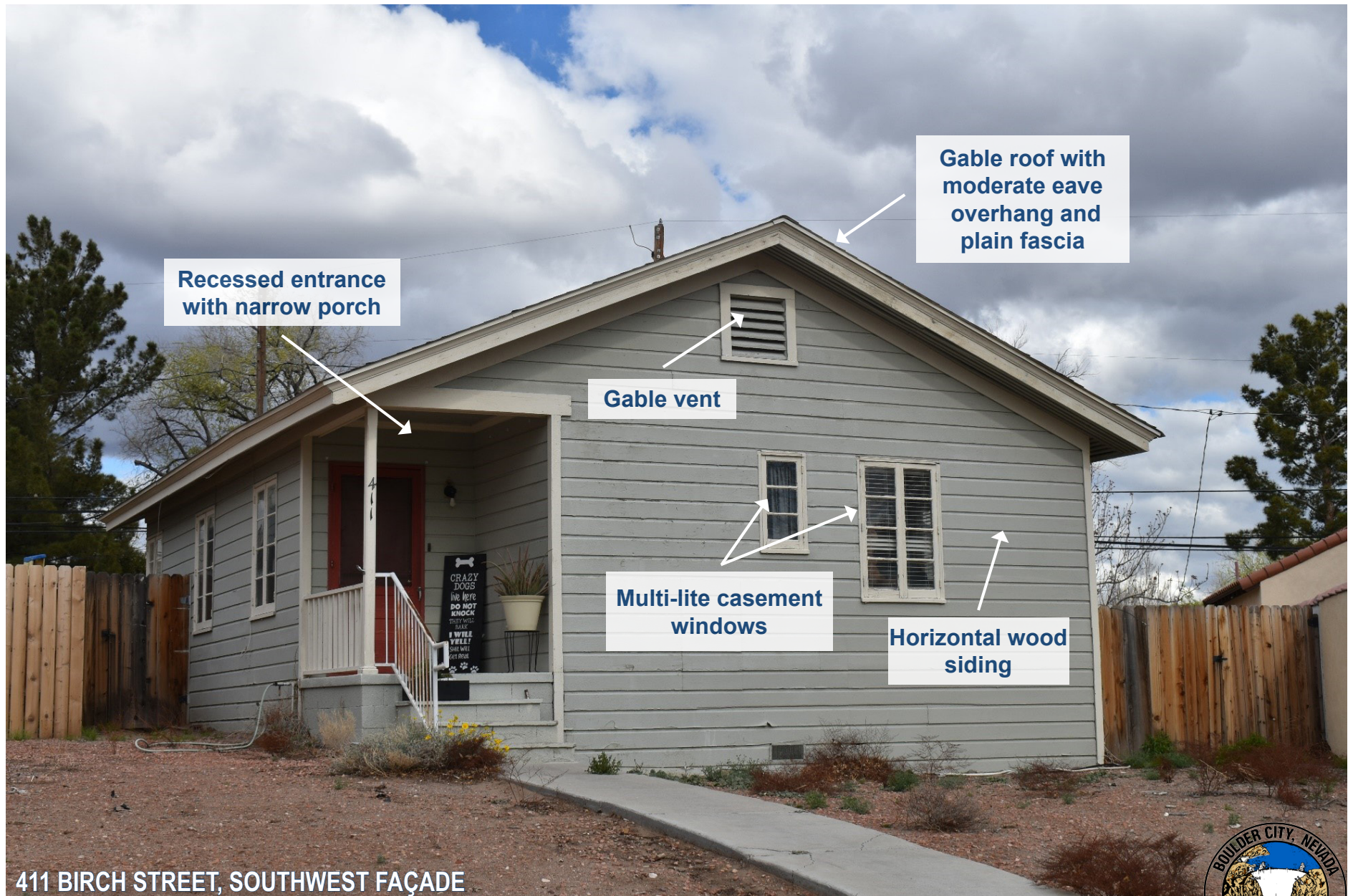
Garages: Garages were not original to most homes within the district



NATIONAL FOLK STYLE SINGLE FAMILY/SIX COMPANIES EMPLOYEE'S RESIDENCE



NATIONAL FOLK STYLE SINGLE FAMILY/LOS ANGELES BUREAU OF POWER & LIGHT COTTAGE



NATIONAL FOLK STYLE SINGLE FAMILY/RECLAMATION ENGINEERS' TEMPORARY HOUSING



NEW TRADITIONAL TUDOR STYLE

CONTRIBUTING NEW TRADITIONAL TUDOR STYLE PROPERTIES WITHIN THE BOULDER CITY HISTORIC DISTRICT*

Arizona Street	812
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New Traditional Tudor Style Description: The Tudor style was popular during the Eclectic Movement in American architecture, which occurred from about 1880 through the 1940s, and drew inspiration from the domestic architecture of various European countries. The Tudor style was loosely based on English residential architecture during the late Medieval and early Renaissance periods. In Boulder City, the only recorded example of this style is the St. Christopher's Episcopal Church, located at 812 Arizona Street. The church exhibits typical characteristics of this style, including a steeply pitched front gable roof, simple round arched doorways, and decorative half timbering.

NEW TRADITIONAL TUDOR STYLE CHARACTER DEFINING FEATURES

The list and image(s) below include character defining features of the St. Christopher's Episcopal Church, the only recorded example of the New Traditional Tudor style in the district.

Massing: One story with basement and attic; T-shaped plan oriented diagonally on the lot

Roof: Steeply pitched gable roof; moderate eave overhang with plain wood fascia at gable end

Façade: Symmetrical with main entrance facing the street; main floor is raised and entrance is accessed via concrete steps

Walls: Brick on lower level; stucco on upper levels; decorative half timbering on upper portion of front façade

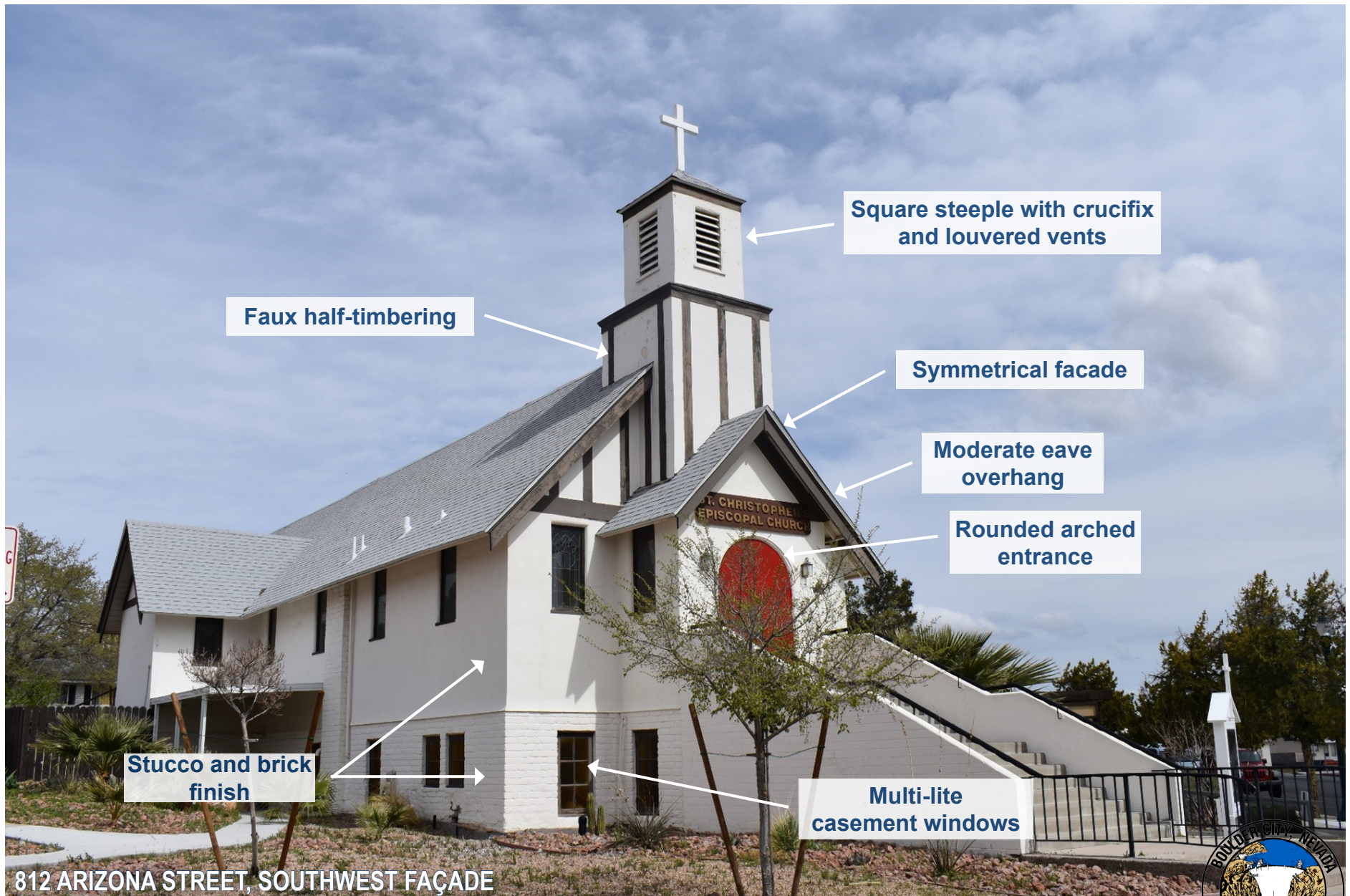
Fenestration: Original windows are stained glass on main level and multi-lite casement on basement level; simple round arched doorway

Architectural Details: Steeple with crucifix and rectangular louvered vents; faux half-timbering at upper levels

Garages: N/A



NEW TRADITIONAL TUDOR STYLE RELIGIOUS/ST. CHRISTOPHER'S EPISCOPAL CHURCH



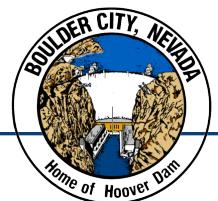
RANCH STYLE¹

CONTRIBUTING RANCH STYLE PROPERTIES WITHIN THE BOULDER CITY HISTORIC DISTRICT*	
Ash Street	426
Cherry Street	507, 508, 511 , 512, 516 , 519 , 523, 524 , 528 , 532 , 536 , 540, 548 , 552 , 556

***Bolded Properties are Recommended Individually Eligible for listing in the NRHP.**

Ranch Style Description: The Ranch style was a popular style for domestic architecture in the United States between 1935 and 1975. The style originated in southern California in the mid-1930s and gained in popularity as the financial controls that favored small house types were gradually lifted after World War (WWII). During the 1950s and 1960s, the Ranch style was the most popular architectural style for residential construction in the country. In Boulder City, the style was most commonly used by Southern California Edison for the construction of single-family employee housing. As the Ranch style homes within the District were mainly constructed in the 1930s, these homes display characteristics of the early Ranch style such as a more compact or square floor plan (as opposed to a more rectangular or L-shaped floor plan with the long edge running parallel to the street that is common with later Ranch styles); and a moderately-pitched roof with a moderate eave overhang (as opposed to a very low-sloped roof and wide eave overhang). Additional characteristics of the Ranch style seen within the District include a one-story massing with an asymmetrical façade; hipped or gabled roof; recessed porch with entrance and may have slate on patio floor; and roofs sheathed with asbestos cement tile in a variety of red earth tones meant to mimic Spanish tile roofs. Contributing Ranch style residences constructed by Southern California Edison are located along Cherry Street, while the only contributing Ranch style home on Ash Street was constructed by Six Companies.²

1. Many of the properties assigned the Ranch style during the most recent survey of the District (2020) were classified as such due to later alterations to original styles. The examples used for these guidelines are of contributing properties that retain most, if not all, of their original architectural features.
2. This home, located at 426 Ash, is not included with similar homes of the same builder assigned the Spanish Ranch style due to the removal of the Spanish tile roof; however, it retains much of its historic integrity and is still considered contributing.



RANCH STYLE CHARACTER DEFINING FEATURES

The list and image(s) below include typical expressions of the Ranch style as it exists within the District and is not intended to be an exhaustive list of every variation in the style. Property owners are encouraged to compare the historic features of their property to the recommended Guidelines when planning for rehabilitation projects.

Massing: Primarily one story; elongated plan with primary elevation parallel to street; square or L-shaped plans

Roof: Intersecting hip and gable; hipped; moderate to wide eave overhangs; exposed or hidden rafter ends; composition shingles; asbestos cement tiles

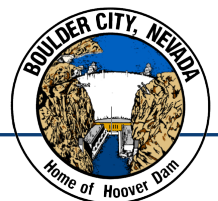
Façade: Asymmetrical; front entry porch recessed under eave; projecting patio covers or screen porches; recessed sun porches; cross-bracing at porch railings; square wood porch roof supports

Walls: Stucco; wood, horizontal drop siding; asbestos cement siding (shingle siding)

Fenestration: Multi-lite double hung sash windows with wood frames; triple sets of double hung sash windows on some models; Ranch style homes on Cherry Street have entrances facing onto the front porch as opposed to the street; Six Companies examples have entrances facing the street

Architectural Details: The homes on Cherry Street have distinctive “X” bracing incorporated into the porch railing, and recessed front entry porch with slate stone

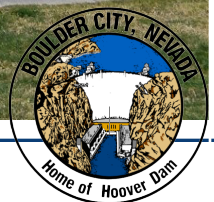
Garages: Detached shared garages on Cherry Street; no access to front yard or street



RANCH STYLE SINGLE-FAMILY/SOUTHERN CALIFORNIA EDISON EMPLOYEE HOUSING



RANCH STYLE SINGLE-FAMILY/SIX COMPANIES ENGINEERS' HOUSING



SPANISH RANCH STYLE

CONTRIBUTING SPANISH RANCH STYLE PROPERTIES WITHIN THE BOULDER CITY HISTORIC DISTRICT*	
Ash Street	405, 409, 414 , 417, 421, 433, 504, 508-510, 512-514, 516-518, 520-522, 524-526
Birch Street	417, 418, 421, 426 , 429, 430, 433, 438, 503, 504, 507, 508, 511, 515, 519, 520, 523, 524, 527, 528, 531, 532, 535, 536, 539, 540
Cherry Street	503, 527, 531

***Bolded Properties are Recommended Individually Eligible for listing in the NRHP.**

Spanish Ranch Style Description: The Spanish Ranch is a type of Styled Ranch, which was popular for American domestic architecture between 1935 and 1985. The Spanish Ranch was the earliest subtype of Styled Ranch and was most prevalent in the southwestern United States. In Boulder City, the style was most commonly used for the construction of single-family and duplex housing for the employees of the Los Angeles Bureau of Power and Light (LABPL). Typical characteristics of the Spanish Ranch style include stucco (or buff brick) exteriors, Spanish tile roofs, recessed front porches; and exposed roof rafters or beams. Residences constructed by LABPL in the Spanish Ranch style are typically concentrated along Ash and Birch streets. Additionally, a few of the employees' residences constructed by Southern California Edison along Cherry Street also exhibit characteristics of the Spanish Ranch style.

SPANISH RANCH STYLE CHARACTER DEFINING FEATURES

The list and image(s) below include typical expressions of the Spanish Ranch style as it exists within the District and is not intended to be an exhaustive list of every variation in the style. Property owners are encouraged to compare the historic features of their property to the recommended Guidelines when planning for rehabilitation projects.

Massing: One story with longest elevation running parallel to the street; L-shaped or square plan; occasional recessed sun porch; wrap-around screen porch

Roof: Low to moderately sloped hip roof; hipped, hip-and-gable; early Ranch style broad open eaves; no eave overhang at gable ends; exposed rafter ends; Spanish tile; decorative trim at gable ends

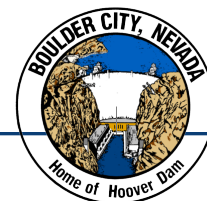
Façade: Asymmetrical; porch is recessed under eave and supported by thin wood posts; occasional recessed sun porch; wrap-around screen porch; entrances are recessed under porch and face the street

Walls: Stucco; horizontal wood siding

Fenestration: Double-hung, wood frame sash windows, sometimes in pairs or corner configurations; round window with rotating panel for opening

Architectural Details: Porthole window; decorative trim at gable ends; slate stone at front porch

Garages: Detached shared garages on Birch and Cherry streets; no access to front yard or street



SPANISH RANCH STYLE SINGLE FAMILY/LA BUREAU OF POWER AND LIGHT

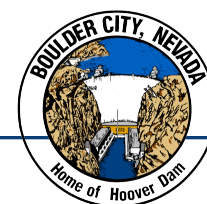


SPANISH REVIVAL STYLE

CONTRIBUTING SPANISH REVIVAL STYLE PROPERTIES WITHIN THE BOULDER CITY HISTORIC DISTRICT*	
Arizona Street	1005
California Avenue	401
Colorado Street	1300
Denver Street	1256, 1260, 1300, 1301, 1322, 1330, 1338 , 1342, 1350, 1411
Hillside Drive	3
Lodge Road	1400
Nevada Way	308 , 312, 324 , 524, 546, 550
Park Street	706 , 722, 726 , 1200 (Reclamation Admin Building) , 1200 (Reclamation Annex)
Railroad Avenue	300
Utah Street	311, 315
Wyoming Street	1340

***Bolded Properties are Recommended Individually Eligible for listing in the NRHP.**

Spanish Revival Style Description: The Spanish Revival style gained popularity during the Eclectic Movement in American architecture, which occurred from about 1880 through the 1940s, and drew inspiration from the domestic architecture of various European countries. The style was most popular in America beginning from about 1915 to 1940 and was most prevalent in the southwestern United States. Architects for Reclamation utilized the Spanish Revival style for the construction of employee housing and the main civic buildings in Boulder City. The appearance of these buildings was based on designs submitted by architect Gordon B. Kaufmann, who served as an architectural consultant for the buildings in the Boulder City townsite. In Boulder City, typical characteristics of the Spanish Revival style include a low-pitched roof with little-to-no eave overhang, red tile roof coverings, one or more prominent arches placed above a principal entrance, stucco wall surfaces, and an asymmetrical façade. Commercial examples will have an arcaded canopy with decorative parapet and symmetrical facades. Residences constructed by Reclamation in the Spanish Revival style are typically located along Denver, Colorado, Park, and Utah streets. In an effort to foster a cohesive community appearance some later employee housing constructed by other companies in Boulder City also adopted characteristics of the Spanish Revival style. For example, single-family residences constructed by the Los Angeles Bureau of Light and Power along Birch Street from Railroad Avenue to Nevada Way exhibit the characteristic red tile roofs and stucco exteriors that are hallmarks of the Spanish Revival style. Commercial examples of the Spanish Revival Style are located primarily along Nevada Way and Wyoming Street, and public and institutional examples are located throughout the district.



SPANISH REVIVAL STYLE CHARACTER DEFINING FEATURES

The list and image(s) below include typical expressions of the Spanish Revival style as it exists within the District and is not intended to be an exhaustive list of every variation in the style. Property owners are encouraged to compare the historic features of their property to the recommended Guidelines when planning for rehabilitation projects.

Massing: Typically one story for residential examples, and two or more stories for public, institutional, and commercial examples

Roof: Low-pitched with little or no eave overhang; hidden rafters; side-gabled, cross-gabled, hipped-and-gabled, hipped, flat, or a combination of 2-3 types; Spanish tile covering; commercial examples typically have a flat roof with decorative or flat parapet and shed roof canopy

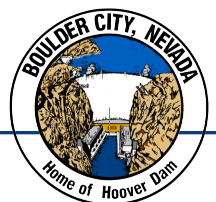
Façade: Typically asymmetrical façade for residential examples, and symmetrical for public and commercial examples; entrances facing the street; recessed entrance or enclosed projecting entrance foyer;

Walls: Stucco; brick (Flemish bond); combination of stucco and brick

Fenestration: Multi-lite casement, sometimes in pairs or triplets; double-hung windows are less common; commercial examples may have large storefront windows; decoratively carved doors and/or door surrounds

Architectural Details: Prominent arches placed above main entry door, principal window(s), or at porch opening; decorative tile vents; elevated chimney tops, sometimes with decorative tile caps; screen porch; commercial examples typically have arcaded canopies with shed roofs and stucco finish; commercial canopies extend over the sidewalk; commercial front façade built to property line

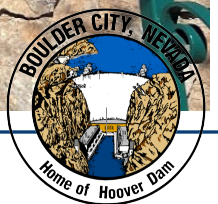
Garages: Spanish Revival homes within the district were not typically constructed with individual garages; however, three original shared garages remain; commercial, public, and institutional properties have varied workshop and storage amenities



SPANISH REVIVAL STYLE SINGLE FAMILY/RECLAMATION ENGINEER'S HOUSING



SPANISH REVIVAL STYLE SINGLE FAMILY/RECLAMATION EMPLOYEES' HOUSING



SPANISH REVIVAL STYLE COMMERCIAL

Symmetrical Façade

Decorative
parapet wall

Entrances recessed
under arcaded
canopy

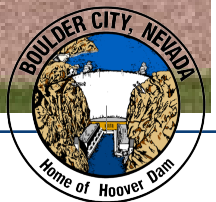
Arcaded canopy extending
over sidewalk with shed roof and
exposed rafter ends

Front façade built
to property line

550 NEVADA WAY, SOUTH FAÇADE



SPANISH REVIVAL STYLE RECLAMATION ADMINISTRATION BUILDING (INSTITUTIONAL)



LATE GOTHIC REVIVAL STYLE

CONTRIBUTING LATE GOTHIC REVIVAL STYLE PROPERTIES WITHIN THE BOULDER CITY HISTORIC DISTRICT	
Wyoming Street	1150

The Late Gothic Revival Style Description: The Late Gothic Revival style peaked in popularity for American domestic architecture during the mid-to-late nineteenth century (1840–1880). However, the style remained popular for church architecture through the 1940s, drawing inspiration from the Gothic cathedrals of Medieval Europe. In Boulder City, typical characteristics of the Late Gothic Revival style include a steeply pitched gable roof, arched windows, stained glass, and exterior buttresses. The only recorded building in Boulder City that exhibits characteristics of the Late Gothic Revival style is Grace Community Church, a church building located at 1150 Wyoming Street.

LATE GOTHIC REVIVAL STYLE CHARACTER DEFINING FEATURES

The list and image(s) below include character defining features of the Grace Community Church, the only recorded example of the Late Gothic Revival style in the district.

Massing: One-and-one-half story building; inverted “J” plan

Roof: Steeply pitched gable roof with parapet walls and no rake; composition shingle covering; wood at gable ends and dormer vents (1940s addition)

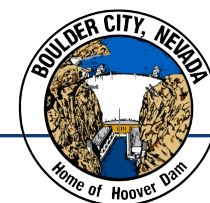
Façade: Symmetrical with main (south) entrance facing the street

Walls: Brick

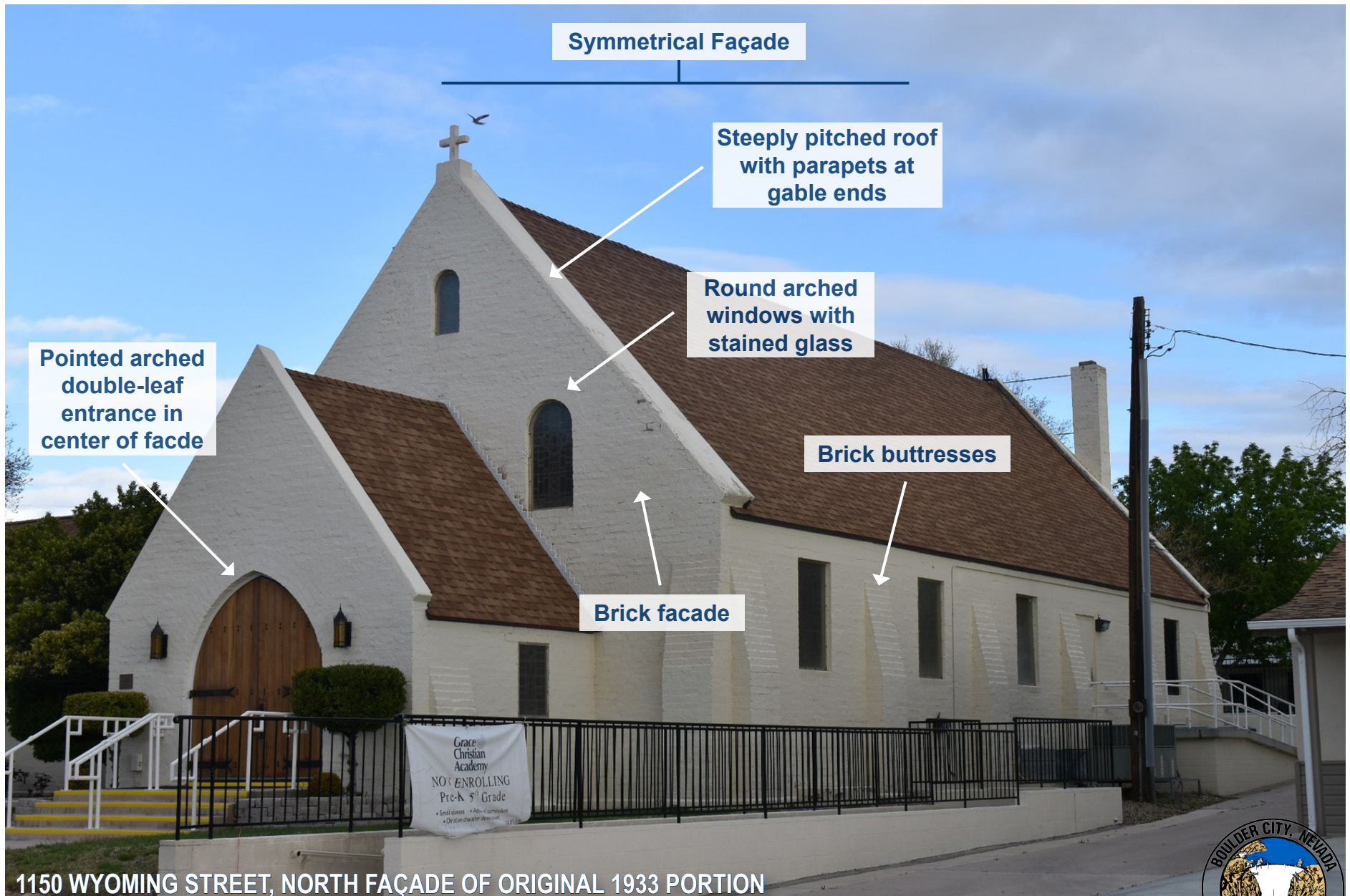
Fenestration: Round arched windows with stained glass on front façade; pointed arch doorway with wood door and wrought iron hardware; multi-lite sash style windows (1940s addition)

Architectural Details: Simple brick buttresses located at regular intervals along exterior walls; exterior brick chimney at rear facade

Garages: N/A



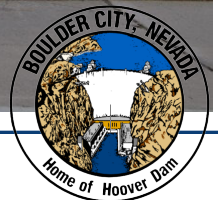
LATE GOTHIC REVIVAL STYLE RELIGIOUS/GRAVE COMMUNITY CHURCH



LATE GOTHIC REVIVAL STYLE RELIGIOUS/GRAVE COMMUNITY CHURCH



1150 WYOMING STREET, SOUTH FAÇADE OF 1940s ADDITION

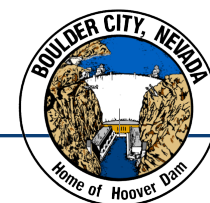


MINIMAL TRADITIONAL STYLE

CONTRIBUTING MINIMAL TRADITIONAL STYLE PROPERTIES WITHIN THE BOULDER CITY HISTORIC DISTRICT*	
Avenue A	619, 631, 648, 656, 661
Avenue B	616, 622, 628, 659, 701–703, 761–763
Avenue D	620, 632, 667
Avenue G	550
Avenue I	520
California Avenue	555, 700–702
Date Street	521–525, 529–533, 537–541, 545–549, 553–557, 500 (Reclamation Metallurgical Lab)
Fifth Street	1308, 1200–1204, 1208–1212
Nevada Way	318, 633, 649
New Mexico Street	1109, 1217, 1221, 1368, 1113–1117, 1209–1213, 1301–1305, 1600, 1608
Utah Street	529
Wyoming Street	1016, 1101, 1263, 1305, 1367, 1001–1005, 1267–1269, 904–906, 909–913

***Bolded Properties are Recommended Individually Eligible for listing in the NRHP.**

Minimal Traditional Style Description: The Minimal Traditional style was common for small houses constructed between 1935 and 1950. The style first emerged to meet the demand for modest affordable housing during the Great Depression. It was popularized by the Federal Housing Administration (FHA), which issued federally backed mortgage insurance and produced technical bulletins that promoted the style as effective for small home design. The Minimal Traditional style remained popular for defense industry housing built during World War II (WWII), and for small homes constructed to alleviate the massive housing shortages that occurred in the postwar era. In Boulder City, the Minimal Traditional style was popular for employee housing constructed by Babcock and Wilcox, as well as for WWII-era defense housing built by Reclamation. The style is also the second most prevalent style of private residential architecture within the community after the National Folk style. In Boulder City, typical characteristics of the Minimal Traditional style include a low or intermediate pitched roof with little to no eave overhang, and minimal amounts of architectural detail. A large proportion of the Minimal Traditional properties in the city also consist of duplexes or other multi-family residences. Houses constructed in this style by Babcock and Wilcox are located along Avenues A and B, while those constructed by Reclamation are typically concentrated along New Mexico, Fifth, and Date streets. Wyoming Street contains the largest number of private residences constructed in the Minimal Traditional style.



MINIMAL TRADITIONAL STYLE CHARACTER DEFINING FEATURES

The list and image(s) below include typical expressions of the Minimal Traditional style as it exists within the District and is not intended to be an exhaustive list of every variation in the style. Property owners are encouraged to compare the historic features of their property to the recommended Guidelines when planning for rehabilitation projects.

Massing: One story is more common, followed by two-story multi-family examples

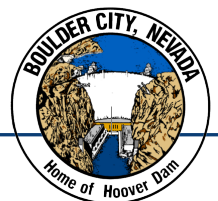
Roof: Hipped or gabled with a low to moderate slope; little to no eave overhang; rafter ends are exposed or covered by fascia; composition shingles have replaced rolled asphalt or asphalt shingles in most examples

Façade: Can be symmetrical or asymmetrical; entrances face the street with very few exceptions
Walls: Stucco is most common, followed by brick

Fenestration: Windows can be multi-lite casement or double-hung style; corner windows; residential windows are typically wood frame, whereas institutional windows are typically metal frame

Architectural Details: Entrances are typically recessed under an extended eave that serves as a porch roof, or a narrow porch roof; porch supports, if used, are usually thin wood posts

Garages: Typically detached if present; multi-family examples can have shared garages and/or storage amenities



MINIMAL TRADITIONAL STYLE PRIVATE CONSTRUCTION/DUPLEX



MINIMAL TRADITIONAL STYLE RECLAMATION TRAINING CENTER (INSTITUTIONAL)



MISSION STYLE

CONTRIBUTING MISSION STYLE PROPERTIES WITHIN THE BOULDER CITY HISTORIC DISTRICT*	
Arizona Street	1129, 1225 , 1229, 1325
Avenue B	525

***Bolded Properties are Recommended Individually Eligible for listing in the NRHP.**

Mission Style Description: The Mission style gained in popularity during the Eclectic Movement in American architecture, which occurred from about 1880 through the 1940s, and drew inspiration from the domestic architecture of various European countries. The style was most popular in America beginning from about 1890 to 1920 and was most prevalent in the southwestern United States. In Boulder City, the Mission style is most common for commercial buildings constructed before 1941. While the architectural design of commercial buildings in Boulder City was largely left up to individual owners, urban planner S. R. DeBoer recommended that architectural guidelines be utilized to maintain visual continuity within the business district. The guidelines recommended by DeBoer embraced many elements of the Mission style, including arcaded façades, parapets, and stucco exteriors. In Boulder City, Mission style buildings are typically concentrated in the City's commercial district along Arizona Street and Nevada Way.

MISSION STYLE CHARACTER DEFINING FEATURES

The list and image(s) below include typical expressions of the Mission style as it exists within the District and is not intended to be an exhaustive list of every variation in the style. Property owners are encouraged to compare the historic features of their property to the recommended Guidelines when planning for rehabilitation projects.

Massing: One story followed by two story buildings; commercial buildings typically have a simple, rectangular plan conforming to the City lot

Roof: Flat; sculpted and detailed parapets

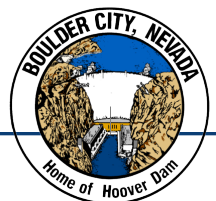
Façade: Recessed entrances sheltered beneath arcaded façades or canopies; symmetrical facades

Walls: Stucco

Fenestration: Divided lite metal frame windows; large commercial storefront windows

Architectural Details: Canopies, arcades, porticos, etc. shading the sidewalk; front façade built to property line (no setback)

Garages: N/A



MISSION STYLE COMMERICAL/BOULDER THEATRE



MODERNISTIC STYLE

CONTRIBUTING MONTEREY STYLE PROPERTIES WITHIN THE BOULDER CITY HISTORIC DISTRICT

Arizona Street	1220-1228
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Modernistic Style Description: The Modernistic style was popular for American architecture between 1920 and 1940. The earlier form of the style was Art Deco, which was common for public and commercial buildings during the 1920s and 1930s. After the 1930s, Art Moderne became the prevalent Modernistic form. In Boulder City, the Modernistic style is applied to commercial buildings constructed after 1941 with two examples located on Arizona Street, and one located on Wyoming Street, in the City's downtown business district. Distinctive features of the style within Boulder City include smooth stucco wall surfaces; flat roofs with parapets and flat canopies, sometimes with rounded corners; horizontal grooves or lines in walls to give a horizontal emphasis, sometimes paired with vertical grooves or lines in vertical surfaces; rounded corners; porthole windows; and asymmetrical façades. The only contributing Modernistic building within the district is 1220 – 1228 Arizona Street.

MODERNISTIC STYLE CHARACTER DEFINING FEATURES

The list and images below include character-defining elements of 1220 – 1228 Arizona Street, the only contributing example of the Modernistic style within the district.

Massing: One story; rectangular plan; façade built to and flush with street front property line

Roof: Flat with parapet wall

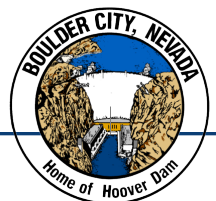
Façade: Asymmetrical with commercial entrances facing the street; cantilevered or suspended canopies, arcades, porticos, or awnings

Walls: Stucco; brick

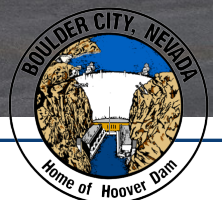
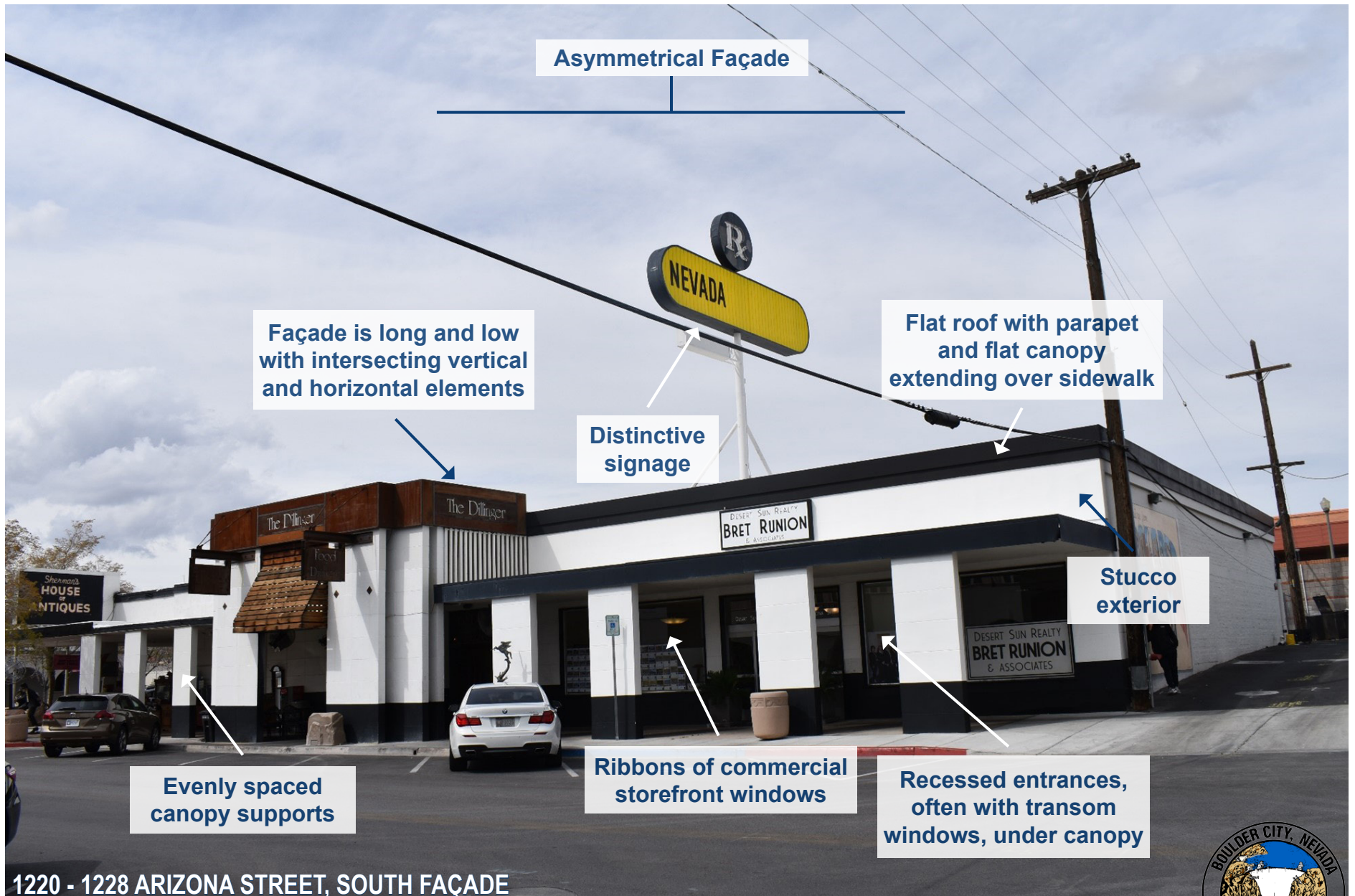
Fenestration: Ribbons of commercial storefront windows; glass storefront entrances with transoms; large plate glass windows

Architectural Details: Unique signage for commercial properties; flat canopies supported by rectangular columns; no visible structure at eaves; rounded corner with entrance; rounded canopy

Garages: N/A



MODERNISTIC STYLE COMMERCIAL



MODERNISTIC STYLE COMMERCIAL



MONTEREY STYLE

CONTRIBUTING MONTEREY STYLE PROPERTIES WITHIN THE BOULDER CITY HISTORIC DISTRICT*

Park Street	700
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***Bolded Properties are Recommended Individually Eligible for listing in the NRHP.**

Monterey Style Description: The Monterey style was popular during the Eclectic Movement in American architecture, which occurred from about 1880 through the 1940s, and drew inspiration from the domestic architecture of various European countries. The style is a free interpretation of the Anglo-influenced Spanish Colonial houses of northern California. It was popular for American domestic architecture from about 1925 to 1955 and was most common in California and Texas. The Monterey style was used by Reclamation architects for the construction of the project department head residence located at 700 Park Street. This permanent residence was one of the finest homes constructed in the Boulder City townsite and was intended for use by Reclamation executives and their families. Monterey style houses are typically two stories in height, with a low-pitched gabled roof, and often have a broad second-story cantilevered balcony which is covered by the principal roof.

MONTEREY STYLE CHARACTER DEFINING FEATURES

The list and image(s) below include character defining features of 700 Park Street, the only recorded example of the Monterey style in the district.

Massing: Two stories; rectangular plan; full-width upper story balcony, cantilevered and covered by an extended eave

Roof: Side-gabled; Low to moderately sloped with little to no eave overhang; exposed, carved rafter ends

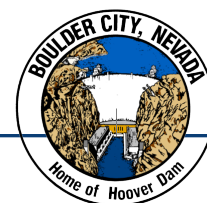
Façade: Asymmetrical with entrance facing the street

Walls: Multi-colored brick laid in a Flemish bond pattern

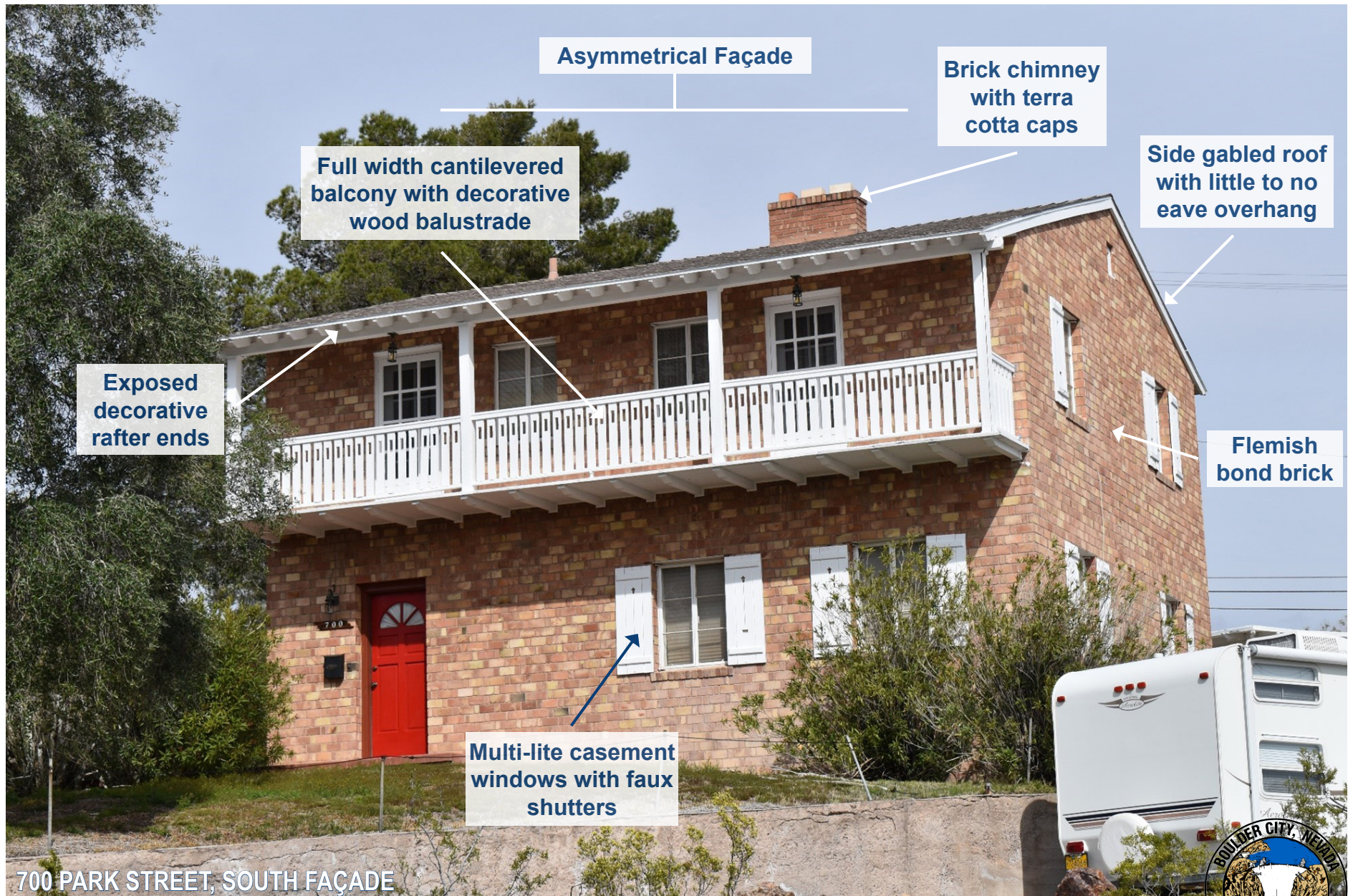
Fenestration: Steel casement windows with faux shutters; multi-lite entries on balcony level

Architectural Details: Brick chimney with terra cotta caps; cantilevered balcony with wood railing; faux shutters

Garages: N/A



MONTEREY STYLE SINGLE FAMILY/RECLAMATION DEPARTMENT HEADS HOUSING

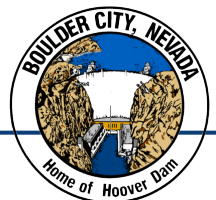


NATIONAL FOLK STYLE

CONTRIBUTING NATIONAL FOLK STYLE PROPERTIES WITHIN THE BOULDER CITY HISTORIC DISTRICT*	
Avenue B	402, 420, 424, 615, 619, 651
Avenue C	608, 611, 619, 632, 635, 636, 640 , 644, 659, 660, 664
Avenue D	608, 631, 639, 640, 644, 647, 648, 656, 664
Avenue F	607, 624, 636, 639, 643, 648, 652
Avenue I	421, 501
Avenue K	505
Arizona Street	504, 508, 512, 520, 1608, 1612, 1616, 1620
Ash Street	400, 429
Birch Street	405, 411
California Avenue	604, 612, 615, 616, 619, 624, 627, 628, 632, 635, 640
Colorado Street	1319, 1323
Denver Street	1354
Park Place	705
Park Street	730, 734
Railroad Avenue	1501, 1505
Utah Street	507

***Bolded Properties are Recommended Individually Eligible for listing in the NRHP.**

National Folk Style Description: The National Folk style was most common for residential construction in the United States from about 1850 until 1930. This style was typically used for mass planned houses that were relatively simple to construct, and evolved after the expansion of the railroad, which made the transport of lighter wood across the U.S. easier and less expensive. In Boulder City, the National Folk style was initially popular for the construction of temporary employee housing built by both Reclamation and Six Companies. During World War II (WWII), the Los Angeles Bureau of Power and Light (LABPL) also utilized the National Folk style in the construction of single-family cottages to meet the increased employment needs brought about by the war effort. In Boulder City, National Folk style houses typically consist of wood frame structures built with light balloon or braced framing and sheathed in wood siding. Historically, houses constructed in this style by Reclamation were located on consecutive lots on Avenues B, K, and L, and Colorado and Arizona streets. National Folk style housing constructed by Six Companies was concentrated in the area bounded by Wyoming Street on the north, New Mexico Street on the south, Avenue B on the west, and Utah Street on the east; while housing constructed by LABPL was located adjacent to existing LABPL housing along Birch Street from Railroad Avenue to Nevada Highway.



NATIONAL FOLK STYLE CHARACTER DEFINING FEATURES

The list and image(s) below include typical expressions of the National Folk style as it exists within the District and is not intended to be an exhaustive list of every variation in the style. Property owners are encouraged to compare the historic features of their property to the recommended Guidelines when planning for rehabilitation projects.

Massing: Small, one-story (typical) homes with rectangular plans

Roof: Gabled with a moderate slope; hidden rafters on roof of the house; open rafters on porch; composition or asphalt shingle covering; moderate eave overhang; attic vents at gable ends (see architectural details below); eave brackets on front gable on some models; hipped or gabled porch roof

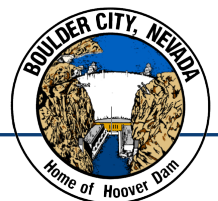
Façade: Asymmetrical with main entrances facing the street or facing the side of the lot; L-shaped, projecting screen porch with hipped roof, extending length of one side and across half of front; Entrances on screen porch can be off-center facing street, or facing the side of the lot

Walls: Stucco finish with horizontal wood siding at the porch and wainscoting (see image of 640 Ave. C below); all stucco finish; all horizontal wood siding

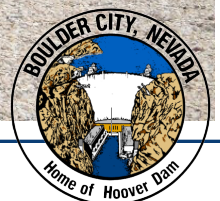
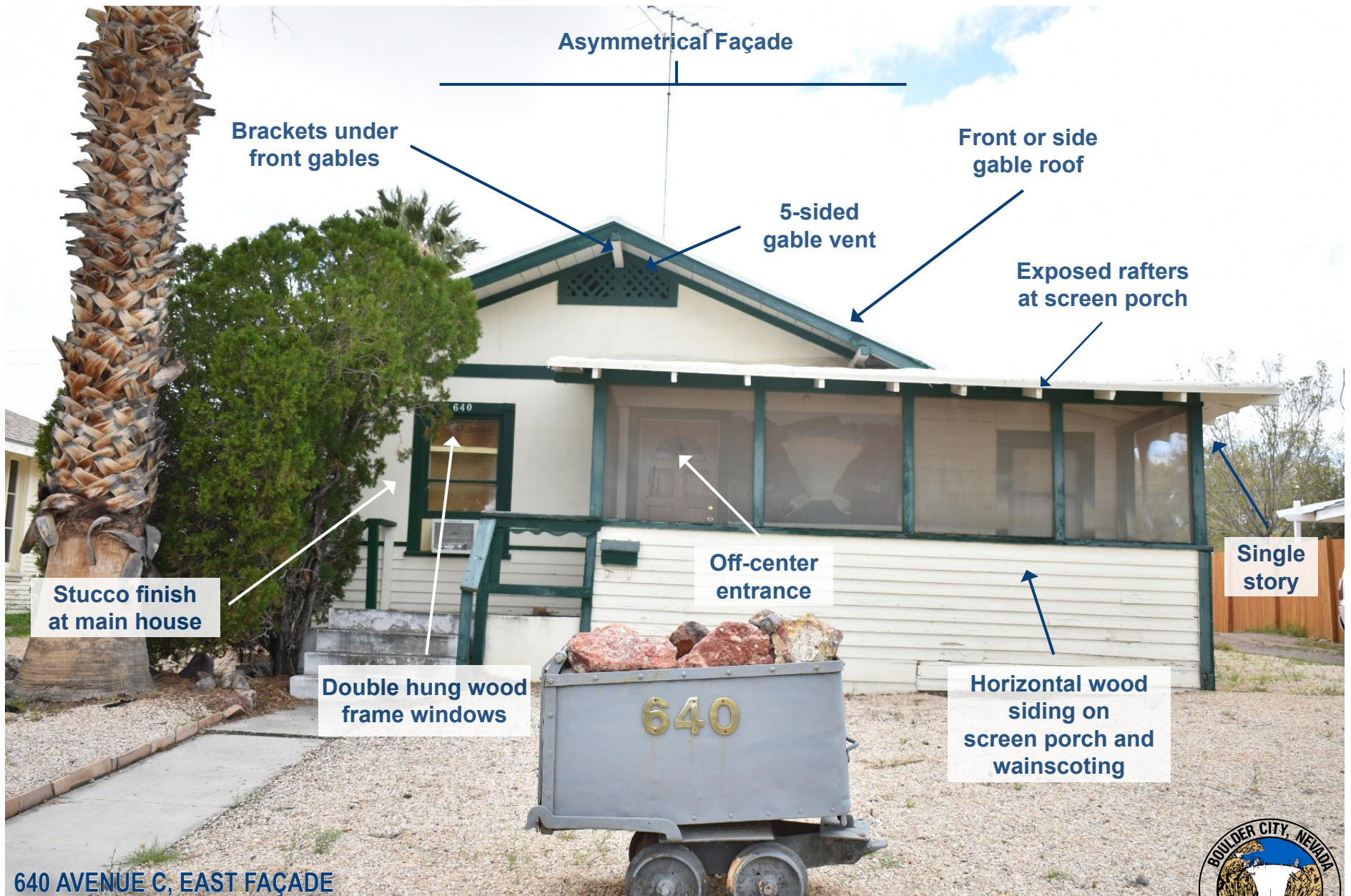
Fenestration: For all examples (excluding LA Bureau of Power & Light [LABPL] cottages at 401-405 Birch Street, and 1501 and 1505 Railroad Avenue which have wood frame casement windows), windows are wood frame, double-hung, either single or in pairs; all window types (not necessarily sizes) on the house match; doors on primary structure and wraparound porches face the street

Architectural Details: Attic vent at gable ends—five-sided opening with wood lattice cover or square with louvers

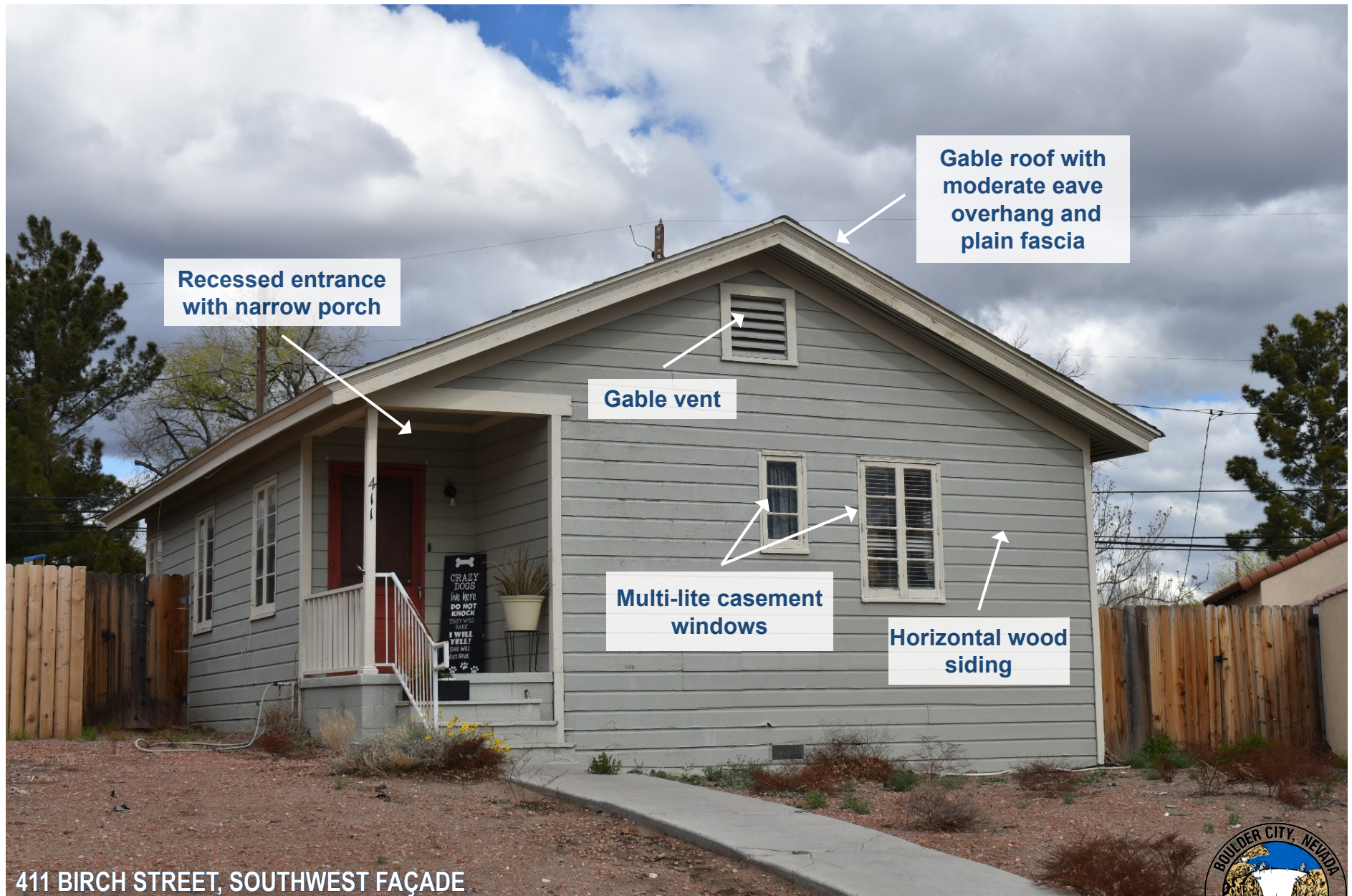
Garages: Garages were not original to most homes within the district



NATIONAL FOLK STYLE SINGLE FAMILY/SIX COMPANIES EMPLOYEE'S RESIDENCE



NATIONAL FOLK STYLE SINGLE FAMILY/LOS ANGELES BUREAU OF POWER & LIGHT COTTAGE



NATIONAL FOLK STYLE SINGLE FAMILY/RECLAMATION ENGINEERS' TEMPORARY HOUSING



NEW TRADITIONAL TUDOR STYLE

CONTRIBUTING NEW TRADITIONAL TUDOR STYLE PROPERTIES WITHIN THE BOULDER CITY HISTORIC DISTRICT*

Arizona Street	812
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New Traditional Tudor Style Description: The Tudor style was popular during the Eclectic Movement in American architecture, which occurred from about 1880 through the 1940s, and drew inspiration from the domestic architecture of various European countries. The Tudor style was loosely based on English residential architecture during the late Medieval and early Renaissance periods. In Boulder City, the only recorded example of this style is the St. Christopher's Episcopal Church, located at 812 Arizona Street. The church exhibits typical characteristics of this style, including a steeply pitched front gable roof, simple round arched doorways, and decorative half timbering.

NEW TRADITIONAL TUDOR STYLE CHARACTER DEFINING FEATURES

The list and image(s) below include character defining features of the St. Christopher's Episcopal Church, the only recorded example of the New Traditional Tudor style in the district.

Massing: One story with basement and attic; T-shaped plan oriented diagonally on the lot

Roof: Steeply pitched gable roof; moderate eave overhang with plain wood fascia at gable end

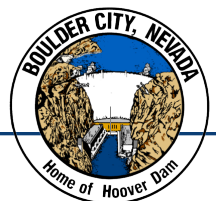
Façade: Symmetrical with main entrance facing the street; main floor is raised and entrance is accessed via concrete steps

Walls: Brick on lower level; stucco on upper levels; decorative half timbering on upper portion of front façade

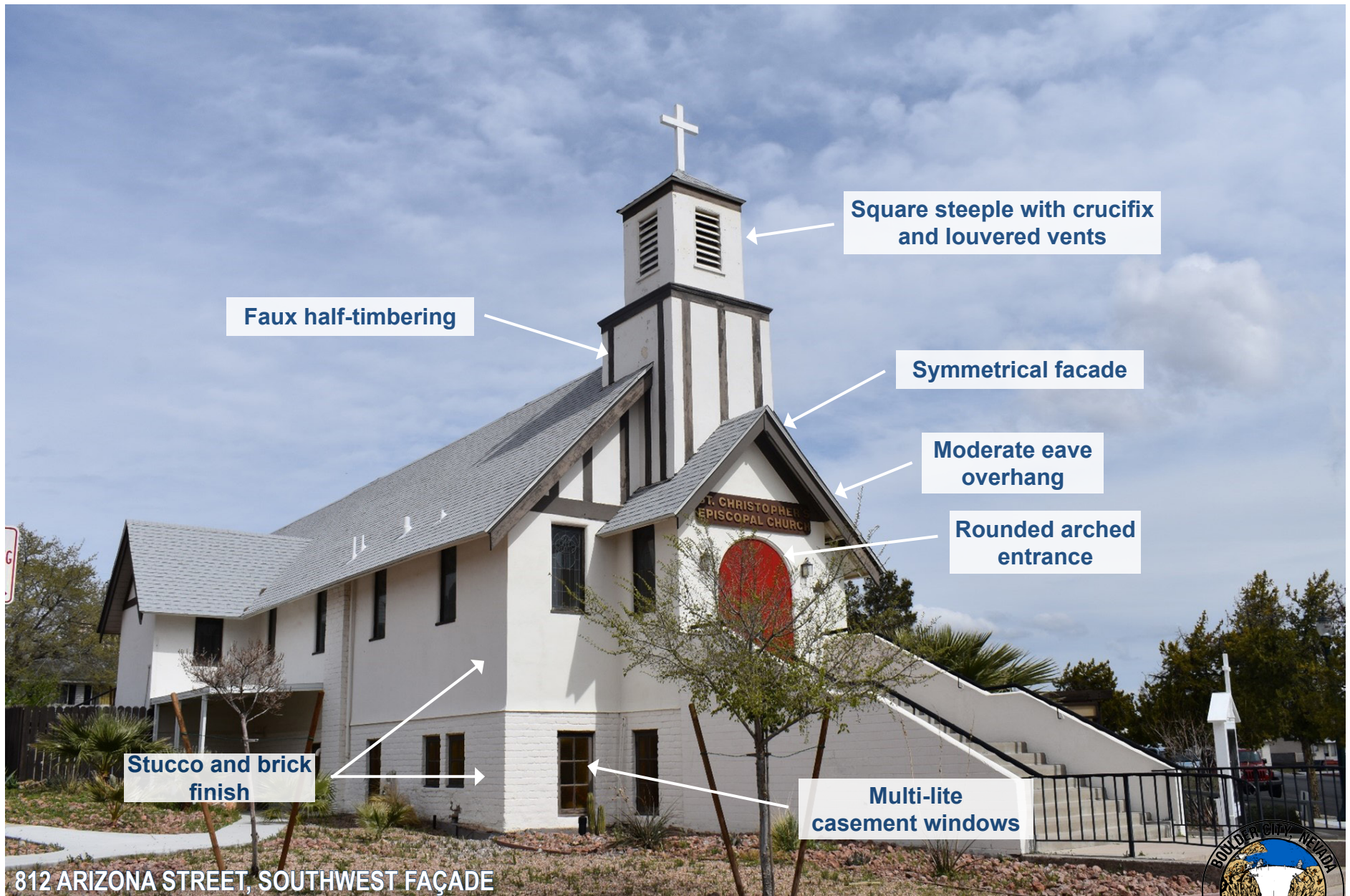
Fenestration: Original windows are stained glass on main level and multi-lite casement on basement level; simple round arched doorway

Architectural Details: Steeple with crucifix and rectangular louvered vents; faux half-timbering at upper levels

Garages: N/A



NEW TRADITIONAL TUDOR STYLE RELIGIOUS/ST. CHRISTOPHER'S EPISCOPAL CHURCH



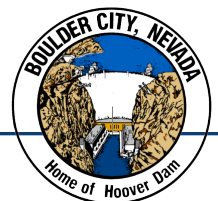
RANCH STYLE¹

CONTRIBUTING RANCH STYLE PROPERTIES WITHIN THE BOULDER CITY HISTORIC DISTRICT*	
Ash Street	426
Cherry Street	507, 508, 511 , 512, 516 , 519 , 523, 524 , 528 , 532 , 536 , 540, 548 , 552 , 556

***Bolded Properties are Recommended Individually Eligible for listing in the NRHP.**

Ranch Style Description: The Ranch style was a popular style for domestic architecture in the United States between 1935 and 1975. The style originated in southern California in the mid-1930s and gained in popularity as the financial controls that favored small house types were gradually lifted after World War (WWII). During the 1950s and 1960s, the Ranch style was the most popular architectural style for residential construction in the country. In Boulder City, the style was most commonly used by Southern California Edison for the construction of single-family employee housing. As the Ranch style homes within the District were mainly constructed in the 1930s, these homes display characteristics of the early Ranch style such as a more compact or square floor plan (as opposed to a more rectangular or L-shaped floor plan with the long edge running parallel to the street that is common with later Ranch styles); and a moderately-pitched roof with a moderate eave overhang (as opposed to a very low-sloped roof and wide eave overhang). Additional characteristics of the Ranch style seen within the District include a one-story massing with an asymmetrical façade; hipped or gabled roof; recessed porch with entrance and may have slate on patio floor; and roofs sheathed with asbestos cement tile in a variety of red earth tones meant to mimic Spanish tile roofs. Contributing Ranch style residences constructed by Southern California Edison are located along Cherry Street, while the only contributing Ranch style home on Ash Street was constructed by Six Companies.²

1. Many of the properties assigned the Ranch style during the most recent survey of the District (2020) were classified as such due to later alterations to original styles. The examples used for these guidelines are of contributing properties that retain most, if not all, of their original architectural features.
2. This home, located at 426 Ash, is not included with similar homes of the same builder assigned the Spanish Ranch style due to the removal of the Spanish tile roof; however, it retains much of its historic integrity and is still considered contributing.



RANCH STYLE CHARACTER DEFINING FEATURES

The list and image(s) below include typical expressions of the Ranch style as it exists within the District and is not intended to be an exhaustive list of every variation in the style. Property owners are encouraged to compare the historic features of their property to the recommended Guidelines when planning for rehabilitation projects.

Massing: Primarily one story; elongated plan with primary elevation parallel to street; square or L-shaped plans

Roof: Intersecting hip and gable; hipped; moderate to wide eave overhangs; exposed or hidden rafter ends; composition shingles; asbestos cement tiles

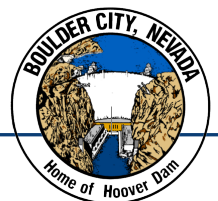
Façade: Asymmetrical; front entry porch recessed under eave; projecting patio covers or screen porches; recessed sun porches; cross-bracing at porch railings; square wood porch roof supports

Walls: Stucco; wood, horizontal drop siding; asbestos cement siding (shingle siding)

Fenestration: Multi-lite double hung sash windows with wood frames; triple sets of double hung sash windows on some models; Ranch style homes on Cherry Street have entrances facing onto the front porch as opposed to the street; Six Companies examples have entrances facing the street

Architectural Details: The homes on Cherry Street have distinctive “X” bracing incorporated into the porch railing, and recessed front entry porch with slate stone

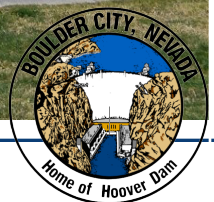
Garages: Detached shared garages on Cherry Street; no access to front yard or street



RANCH STYLE SINGLE-FAMILY/SOUTHERN CALIFORNIA EDISON EMPLOYEE HOUSING



RANCH STYLE SINGLE-FAMILY/SIX COMPANIES ENGINEERS' HOUSING



SPANISH RANCH STYLE

CONTRIBUTING SPANISH RANCH STYLE PROPERTIES WITHIN THE BOULDER CITY HISTORIC DISTRICT*	
Ash Street	405, 409 , 414 , 417, 421, 433, 504 , 508-510 , 512-514 , 516-518 , 520-522 , 524-526
Birch Street	417 , 418 , 421 , 426 , 429, 430, 433, 438 , 503 , 504 , 507 , 508 , 511 , 515 , 519 , 520 , 523 , 524 , 527 , 528 , 531 , 532 , 535 , 536 , 539 , 540
Cherry Street	503, 527, 531

***Bolded Properties are Recommended Individually Eligible for listing in the NRHP.**

Spanish Ranch Style Description: The Spanish Ranch is a type of Styled Ranch, which was popular for American domestic architecture between 1935 and 1985. The Spanish Ranch was the earliest subtype of Styled Ranch and was most prevalent in the southwestern United States. In Boulder City, the style was most commonly used for the construction of single-family and duplex housing for the employees of the Los Angeles Bureau of Power and Light (LABPL). Typical characteristics of the Spanish Ranch style include stucco (or buff brick) exteriors, Spanish tile roofs, recessed front porches; and exposed roof rafters or beams. Residences constructed by LABPL in the Spanish Ranch style are typically concentrated along Ash and Birch streets. Additionally, a few of the employees' residences constructed by Southern California Edison along Cherry Street also exhibit characteristics of the Spanish Ranch style.

SPANISH RANCH STYLE CHARACTER DEFINING FEATURES

The list and image(s) below include typical expressions of the Spanish Ranch style as it exists within the District and is not intended to be an exhaustive list of every variation in the style. Property owners are encouraged to compare the historic features of their property to the recommended Guidelines when planning for rehabilitation projects.

Massing: One story with longest elevation running parallel to the street; L-shaped or square plan; occasional recessed sun porch; wrap-around screen porch

Roof: Low to moderately sloped hip roof; hipped, hip-and-gable; early Ranch style broad open eaves; no eave overhang at gable ends; exposed rafter ends; Spanish tile; decorative trim at gable ends

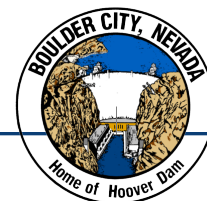
Façade: Asymmetrical; porch is recessed under eave and supported by thin wood posts; occasional recessed sun porch; wrap-around screen porch; entrances are recessed under porch and face the street

Walls: Stucco; horizontal wood siding

Fenestration: Double-hung, wood frame sash windows, sometimes in pairs or corner configurations; round window with rotating panel for opening

Architectural Details: Porthole window; decorative trim at gable ends; slate stone at front porch

Garages: Detached shared garages on Birch and Cherry streets; no access to front yard or street



SPANISH RANCH STYLE SINGLE FAMILY/LA BUREAU OF POWER AND LIGHT

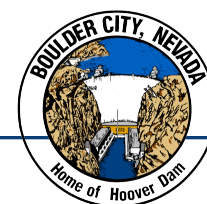


SPANISH REVIVAL STYLE

CONTRIBUTING SPANISH REVIVAL STYLE PROPERTIES WITHIN THE BOULDER CITY HISTORIC DISTRICT*	
Arizona Street	1005
California Avenue	401
Colorado Street	1300
Denver Street	1256, 1260, 1300, 1301, 1322, 1330, 1338 , 1342, 1350, 1411
Hillside Drive	3
Lodge Road	1400
Nevada Way	308 , 312, 324 , 524, 546, 550
Park Street	706 , 722, 726 , 1200 (Reclamation Admin Building) , 1200 (Reclamation Annex)
Railroad Avenue	300
Utah Street	311, 315
Wyoming Street	1340

***Bolded Properties are Recommended Individually Eligible for listing in the NRHP.**

Spanish Revival Style Description: The Spanish Revival style gained popularity during the Eclectic Movement in American architecture, which occurred from about 1880 through the 1940s, and drew inspiration from the domestic architecture of various European countries. The style was most popular in America beginning from about 1915 to 1940 and was most prevalent in the southwestern United States. Architects for Reclamation utilized the Spanish Revival style for the construction of employee housing and the main civic buildings in Boulder City. The appearance of these buildings was based on designs submitted by architect Gordon B. Kaufmann, who served as an architectural consultant for the buildings in the Boulder City townsite. In Boulder City, typical characteristics of the Spanish Revival style include a low-pitched roof with little-to-no eave overhang, red tile roof coverings, one or more prominent arches placed above a principal entrance, stucco wall surfaces, and an asymmetrical façade. Commercial examples will have an arcaded canopy with decorative parapet and symmetrical facades. Residences constructed by Reclamation in the Spanish Revival style are typically located along Denver, Colorado, Park, and Utah streets. In an effort to foster a cohesive community appearance some later employee housing constructed by other companies in Boulder City also adopted characteristics of the Spanish Revival style. For example, single-family residences constructed by the Los Angeles Bureau of Light and Power along Birch Street from Railroad Avenue to Nevada Way exhibit the characteristic red tile roofs and stucco exteriors that are hallmarks of the Spanish Revival style. Commercial examples of the Spanish Revival Style are located primarily along Nevada Way and Wyoming Street, and public and institutional examples are located throughout the district.



SPANISH REVIVAL STYLE CHARACTER DEFINING FEATURES

The list and image(s) below include typical expressions of the Spanish Revival style as it exists within the District and is not intended to be an exhaustive list of every variation in the style. Property owners are encouraged to compare the historic features of their property to the recommended Guidelines when planning for rehabilitation projects.

Massing: Typically one story for residential examples, and two or more stories for public, institutional, and commercial examples

Roof: Low-pitched with little or no eave overhang; hidden rafters; side-gabled, cross-gabled, hipped-and-gabled, hipped, flat, or a combination of 2-3 types; Spanish tile covering; commercial examples typically have a flat roof with decorative or flat parapet and shed roof canopy

Façade: Typically asymmetrical façade for residential examples, and symmetrical for public and commercial examples; entrances facing the street; recessed entrance or enclosed projecting entrance foyer;

Walls: Stucco; brick (Flemish bond); combination of stucco and brick

Fenestration: Multi-lite casement, sometimes in pairs or triplets; double-hung windows are less common; commercial examples may have large storefront windows; decoratively carved doors and/or door surrounds

Architectural Details: Prominent arches placed above main entry door, principal window(s), or at porch opening; decorative tile vents; elevated chimney tops, sometimes with decorative tile caps; screen porch; commercial examples typically have arcaded canopies with shed roofs and stucco finish; commercial canopies extend over the sidewalk; commercial front façade built to property line

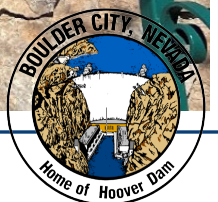
Garages: Spanish Revival homes within the district were not typically constructed with individual garages; however, three original shared garages remain; commercial, public, and institutional properties have varied workshop and storage amenities



SPANISH REVIVAL STYLE SINGLE FAMILY/RECLAMATION ENGINEER'S HOUSING



SPANISH REVIVAL STYLE SINGLE FAMILY/RECLAMATION EMPLOYEES' HOUSING



SPANISH REVIVAL STYLE COMMERCIAL

Symmetrical Façade

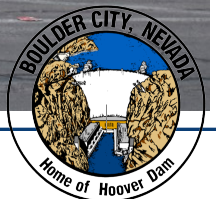
Decorative
parapet wall

Entrances recessed
under arcaded
canopy

Arcaded canopy extending
over sidewalk with shed roof and
exposed rafter ends

Front façade built
to property line

550 NEVADA WAY, SOUTH FAÇADE



SPANISH REVIVAL STYLE RECLAMATION ADMINISTRATION BUILDING (INSTITUTIONAL)

